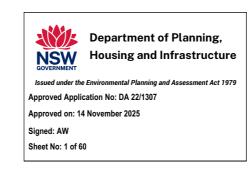
DEVELOPMENT APPLICATION ARCHITECTURAL DOCUMENTATION 19074

Residential Flat Building - 53-55 Donnison Street, West Gosford SNZHoldings + Australian Luxury Living

SCHEDU	LE OF DRAWINGS	:
DA000	COVER PAGE	
DA010	SITE ANALYSIS	
DA011	SITE ANALYSIS	
DA020	DEMOLITION PLAN	
DA030	SITE PLAN	
DA040	MASSING PERSPECTIVE 01	
DA041	MASSING PERSPECTIVE 01 W/ ENVELOPE	
DA042	MASSING PERSPECTIVE 02	
DA043	MASSING PERSPECTIVE 02 W/ ENVELOPE	
DA050	RENDERED PERSPECTIVE 01	
DA051	RENDERED PERSPECTIVE 02	
DA052	RENDERED PERSPECTIVE 03	
DA053	RENDERED PERSPECTIVE 04	
DA054	RENDERED PERSPECTIVE 05	
DA100	BASEMENT 2	
DA110	BASEMENT 1	
DA120	GROUND FLOOR	
DA130	FIRST FLOOR	-
DA140	SECOND FLOOR	
DA150	THIRD FLOOR	
DA160	FOURTH FLOOR	
DA170	FIFTH FLOOR	
DA180	SIXTH FLOOR	
DA300	NORTHERN ELEVATION	
DA301	EASTERN ELEVATION	
DA302	SOUTHERN ELEVATION	
DA303	WESTERN ELEVATION	
DA350	EXTERNAL FINISHES	
DA400	SECTION A-A	
DA401	SECTION B-B	
DA900	EXTERNAL SHADOW DIAGRAMS	

SCHEDULE OF DRAWINGS		
DA901	EXTERNAL SHADOW DIAGRAMS	
DA970	FSR CALCULATION	
DA980	STORAGE CALCULATION	



Asterial Type Cavity Brick + R2.0 Insulation + PB Plasterboard on studs	Detail Medium colour Intra-tenancy walls
Plasterboard on studs	
Table 12 Card Card	Intra-tenancy walls
	mua-tonancy wans
lebel + Plasterboad	Inter-tenancy walls
NLM-002-01 A Aluminium B GG Clear	NFRC Glazing System values: ⇒ U ≤ 6.70 and SHGC = 0.70 (± 5%)
NLM-002-03 A Aluminium B GG High Solar Gain Low-E Modifying units: 402, 403, 502, 503, 601, 602	NFRC Glazing System values: ⇒ U ≤ 5.40 and SHGC = 0.58 (± 5%)
I/A	
lot specified	
Concrete slab	Tile (kitchen & wet) Timber floor living
R 1.0 floor insulation above car park	
Plasterboard	
Plasterboard + R3.5 Insulation (top level)	
Concrete	Medium colour
	LM-002-03 A Aluminium B G High Solar Gain Low-E lodifying units: 402, 403, 502, 503, 601, 602 I/A lot specified concrete slab t. 1.0 floor insulation above car park clasterboard clasterboard + R3.5 Insulation (top level)

BASIX SUMMARY



SUBJECT SITE



SITE LOCATION

Issue	Description	Date
P6	Client Review	1/06/2022
P7	Client Review	14/07/2022
D	Revised Development Application	22/06/2023
Residential Flat Building		
53-55 Donnison Street		

West Gosford SNZHoldings + Australian Luxury Living

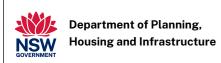
COVER PAGE 1:1.48 @ A3 PG/JG 19074

DA000

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Survey By: Clarke Dowdle Ref: x Date: 13.11.19





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Description Date

Revised
Development 22/06/202

Application

Residential Flat Building

53-55 Donnison Street
West Gosford

Client SNZHoldings +
Australian Luxury Living

SITE ANALYSIS

Scale

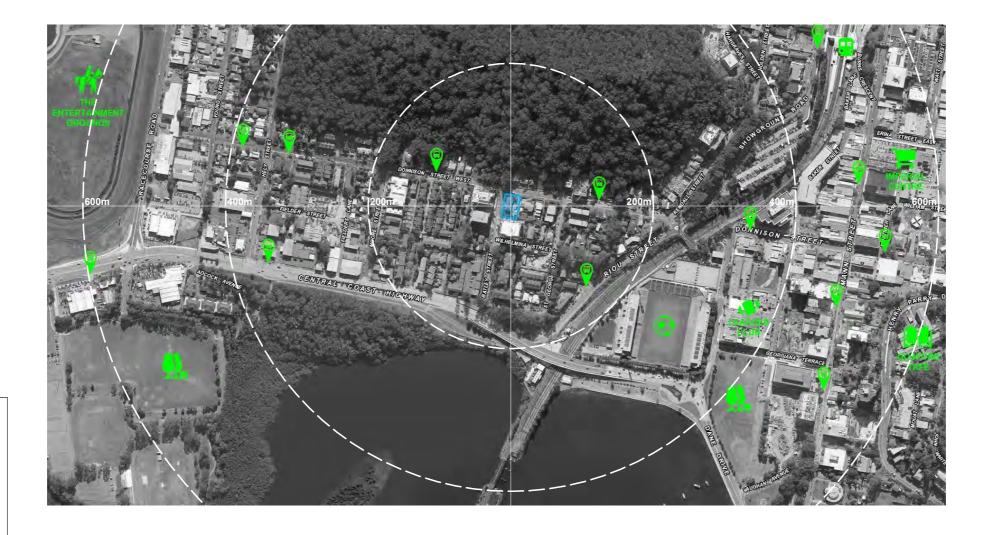
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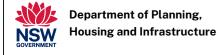
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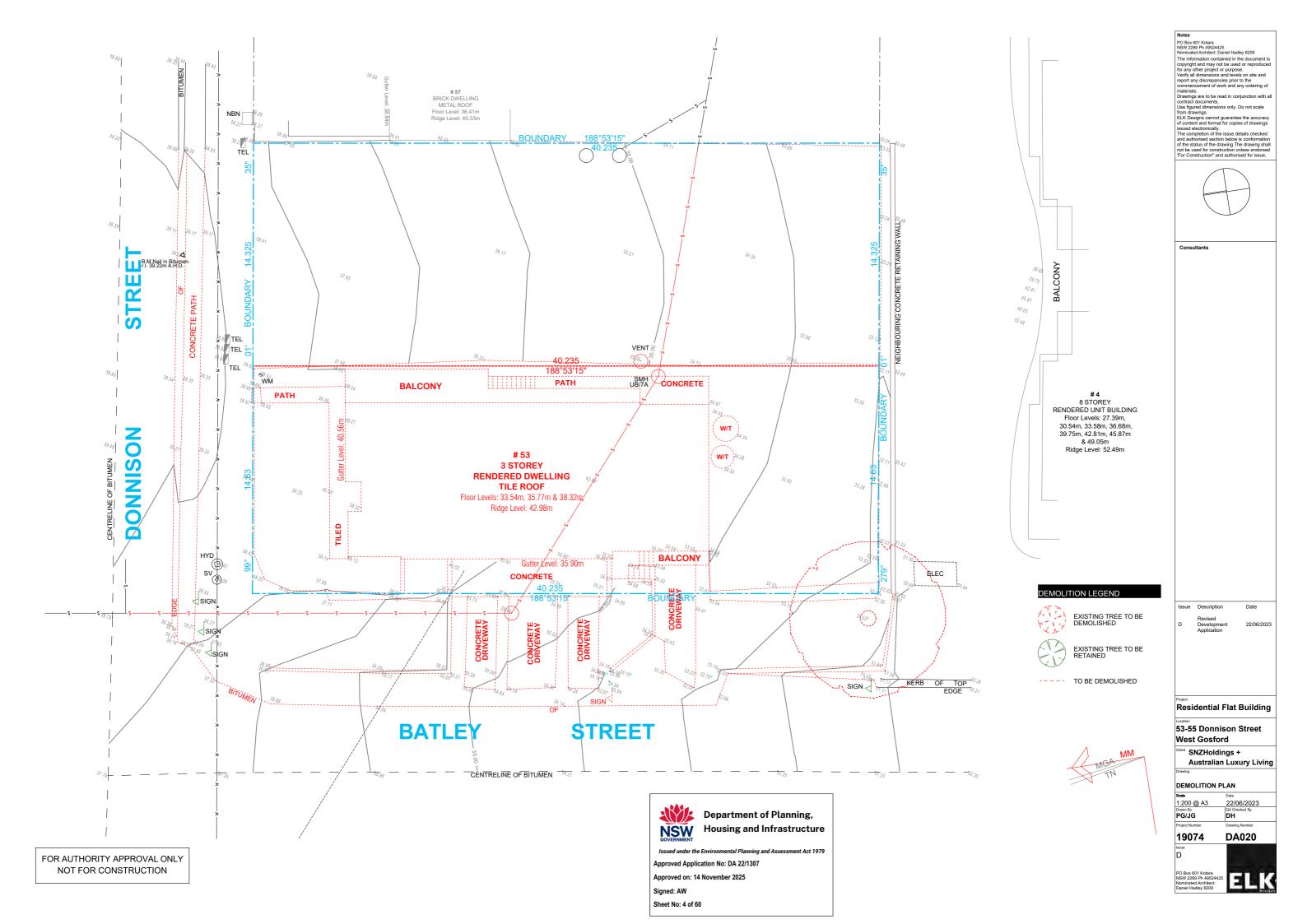
Residential Flat Building

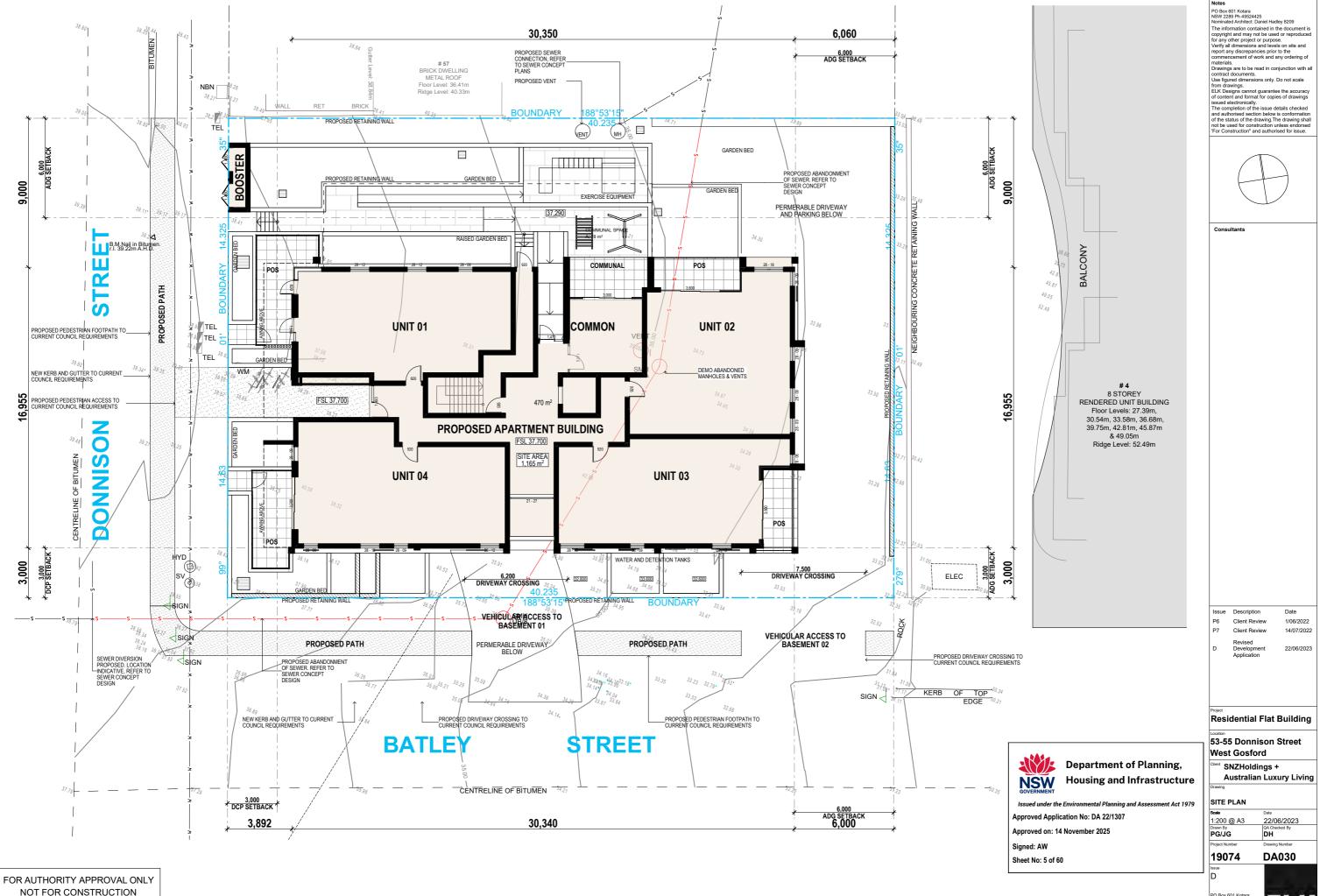
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Sheet No: 6 of 60

	AREA CALCULATION (m2)	
	COMMUNAL SPACE	78
	DEEP SOIL	164
	DEEP SOIL (ROOF TOP)	61
	LANDSCAPING	374
	ROOFTOP TERRACE (COMMUNAL)	216
	SITE COVERAGE	679
BASEMEN	NT 1	
	PERMEABLE DRIVEWAY	58
BASEMEN		
	PERMEABLE DRIVEWAY	345
UNIT 01	2 PEDDOOM	70
	2 BEDROOM	78
	INTERNAL UNIT STORAGE	
	STORAGE CAGE TERRACE	20
	TERROL	20
UNIT 02	2 PEDPOOM	92
	2 BEDROOM BALCONY	10
	INTERNAL UNIT STORAGE	4
	STORAGE CAGE	2
	STOTAGE GAGE	2
UNIT 03		
	2 BEDROOM	82
	BALCONY	10
	INTERNAL UNIT STORAGE	4
	STORAGE CAGE	2
LINUTOA		
UNIT 04		
	2 BEDROOM	78
	INTERNAL UNIT STORAGE	1
	STORAGE CAGE TERRACE	16
LINIT 404		
UNIT 101	2 BEDROOM	90
	BALCONY	10
	INTERNAL UNIT STORAGE	4
	STORAGE CAGE	2
LINIT 400		
UNIT 102	3 BEDROOM	105
	BALCONY	12
	INTERNAL UNIT STORAGE	3
	STORAGE CAGE	2
UNIT 103		
	3 BEDROOM	105
	BALCONY	12
	INTERNAL UNIT STORAGE	4
	STORAGE CAGE	2
UNIT 104		
	2 BEDROOM	90
	BALCONY	11
	INTERNAL UNIT STORAGE	3
	STORAGE CAGE	2
UNIT 201		
	2 BEDROOM	90
	BALCONY	10
	INTERNAL UNIT STORAGE	4
	STORAGE CAGE	2
UNIT 202		
	3 BEDROOM	105
	BALCONY	12
	INTERNAL UNIT STORAGE	3
	0700+05 0+05	^

UNIT 203 3 BEDROOM 105 BALCONY 12 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 204 2 BEDROOM 90 BALCONY 11 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 301 2 BEDROOM BALCONY 10 INTERNAL UNIT STORAGE STORAGE CAGE 2 BEDROOM 83 BALCONY 15 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 303 82 2 BEDROOM BALCONY INTERNAL UNIT STORAGE STORAGE CAGE UNIT 304 2 BEDROOM BALCONY 13 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 401 1 BEDROOM (ACCESSIBLE) 57 BALCONY INTERNAL UNIT STORAGE STORAGE CAGE UNIT 402 2 BEDROOM BALCONY INTERNAL UNIT STORAGE STORAGE CAGE UNIT 403 2 BEDROOM BALCONY 25 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 404 1 BEDROOM (ACCESSIBLE) 58 INTERNAL UNIT STORAGE STORAGE CAGE UNIT 501 1 BEDROOM (ACCESSIBLE) BALCONY INTERNAL UNIT STORAGE STORAGE CAGE UNIT 502 2 BEDROOM 89 BALCONY INTERNAL UNIT STORAGE STORAGE CAGE UNIT 503 2 BEDROOM BALCONY

INTERNAL UNIT STORAGE STORAGE CAGE

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1/06/2022 Client Review 14/07/2022

Residential Flat Building

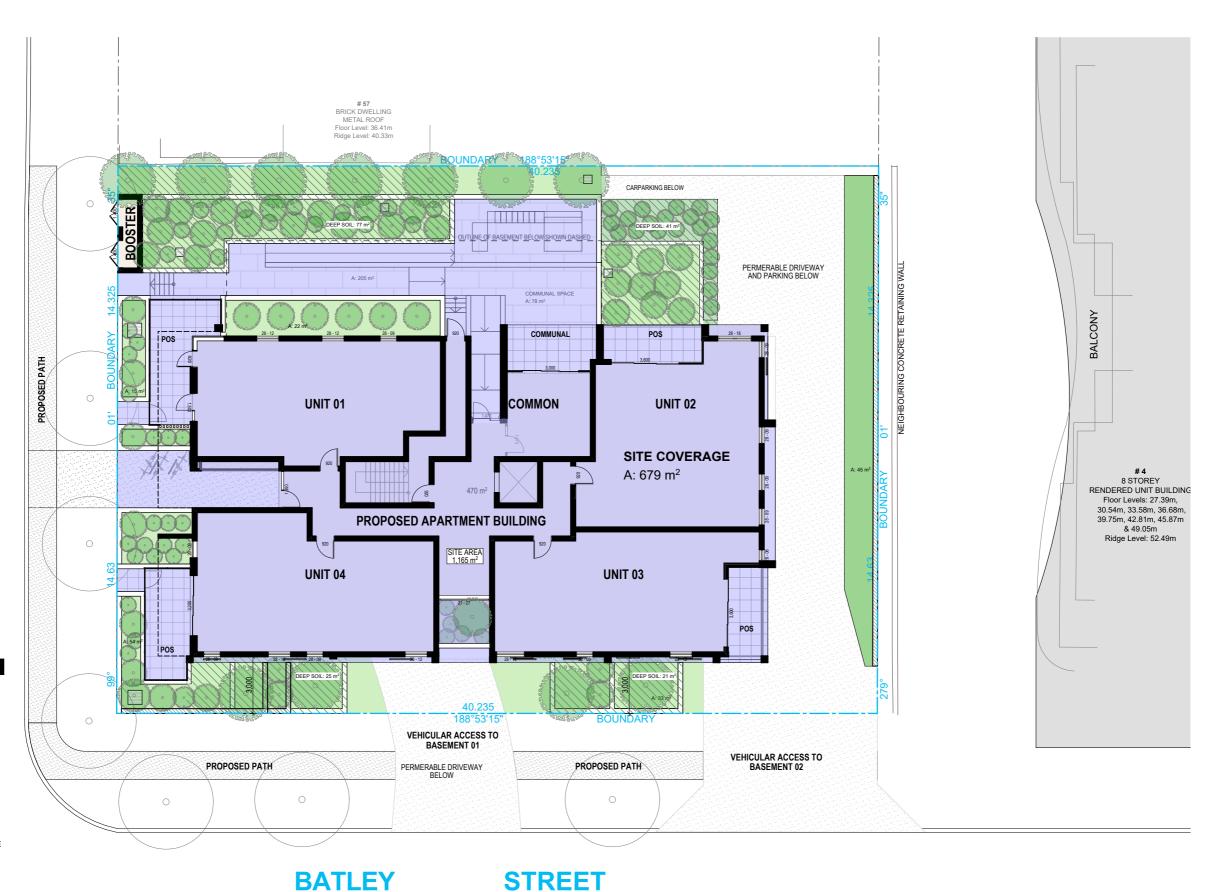
53-55 Donnison Street West Gosford

SNZHoldings + **Australian Luxury Living**

PG/JG

DH





SITE COVERAGE LEGEND

CALCULATED SITE COVERAGE (INCLUDING HARDSTAND)

STREET

DONNISON

EXISTING BUILDING FOOTPRINT

CALCULATED LANDSCAPED AREAS

DEEP SOIL AREAS

PLANTING ON STRUCTURE

PRIVATE OPEN SPACE

INDICATIVE PLANTING

INDICATIVE NEW

FOR AUTHORITY APPROVAL ONLY NOT FOR CONSTRUCTION

Site Coverage: Deep Soil: 14.1% Landscape: 32% total area 164m² total area 376m² Min 3m width as includes Hardstand areas per ADG





SITE COVERAGE NOTES

1. PLEASE REFER TO CONSULTING ENGINEERS
DRAWINGS FOR STORMWATER
DETAILS

2. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS

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Client Review

Client Review

1/06/2022

14/07/2022

Residential Flat Building

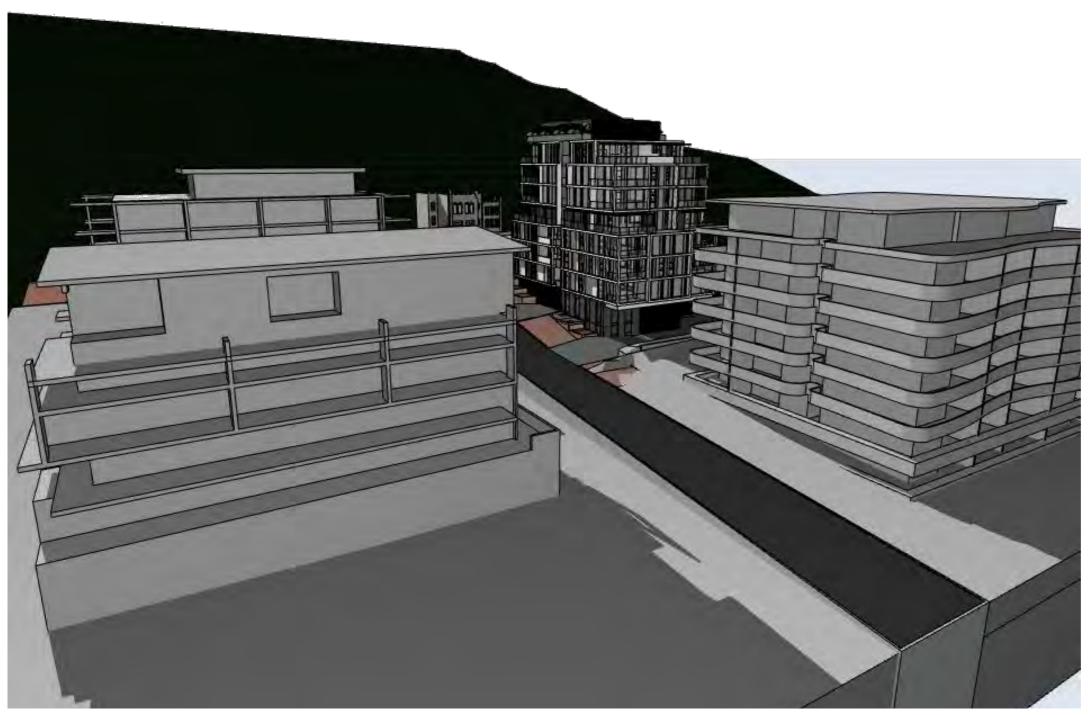
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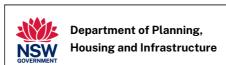
SITE COVERAGE PLAN

1:200 @ A3 22/06/2023 DH





MASSING CONTEXT BATLEY STREET



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Residential Flat Building

53-55 Donnison Street West Gosford

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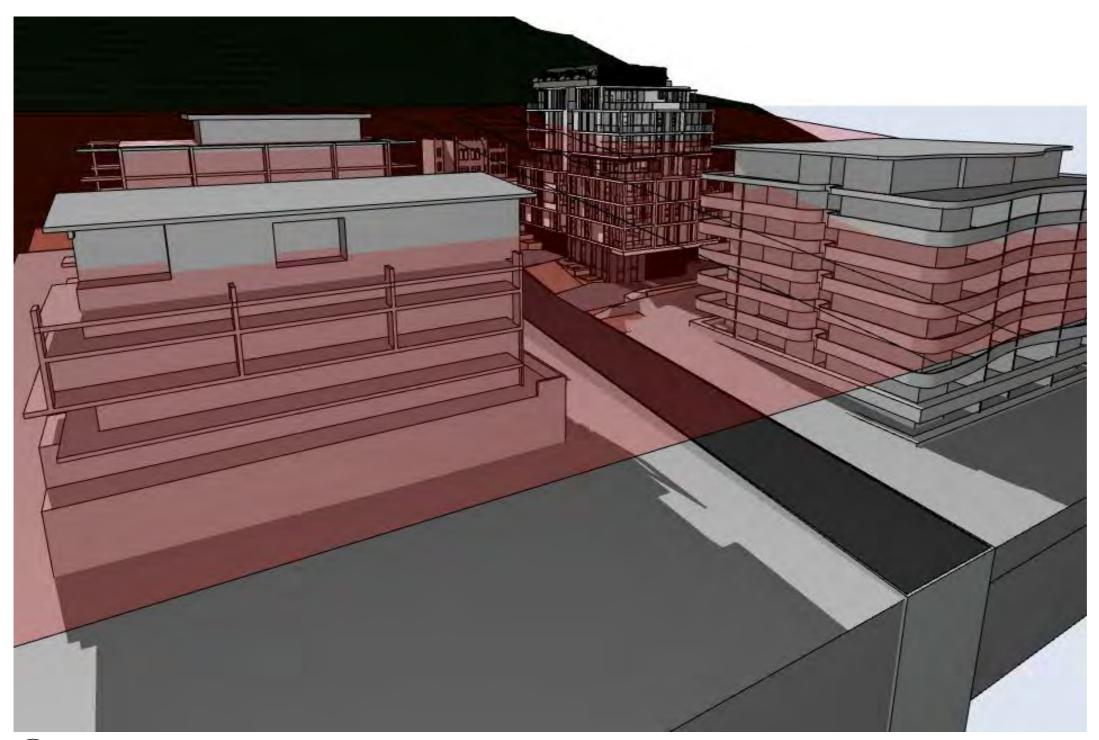
Australian Luxury Living

MASSING PERSPECTIVE 01

@ A3
Drawn By
PG/JG

DH





MASSING CONTEXT BATLEY STREET W/ ENVELOPES



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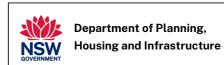
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MASSING PERSPECTIVE 01 W/ ENVELOPE

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 Issue
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 Date

 P1
 Client Review
 14/07/2022

 Revised
 Development
 22/06/2023

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Residential Flat Building

53-55 Donnison Street West Gosford

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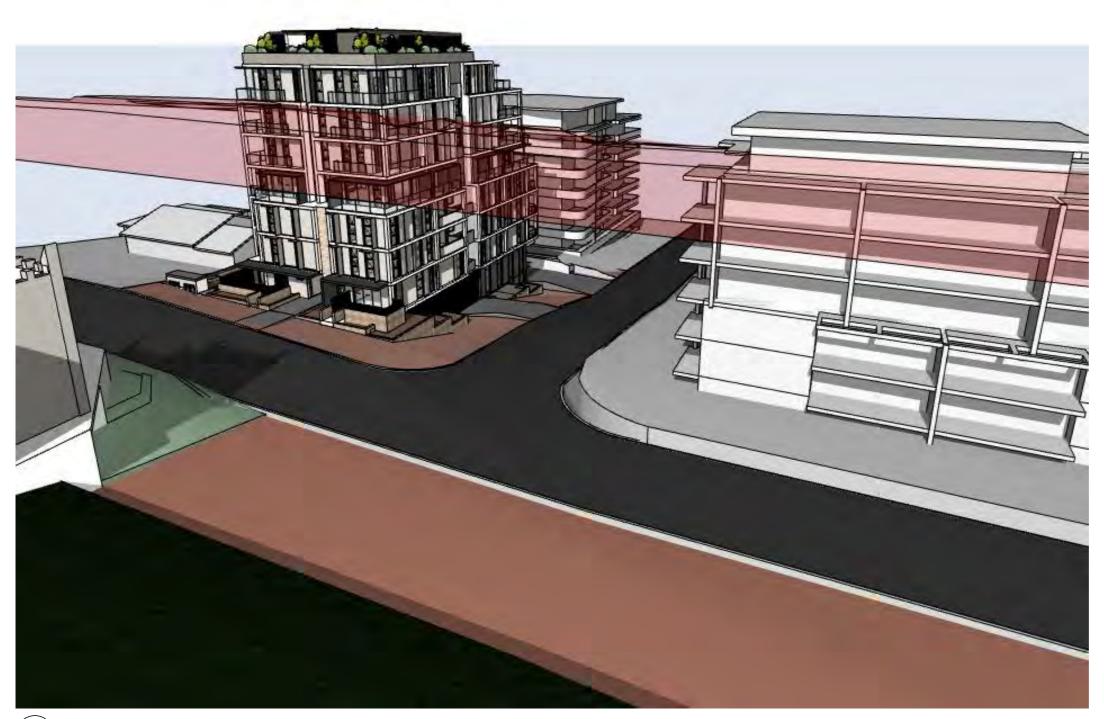
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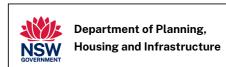
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 Date

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 Development Application
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Residential Flat Building

53-55 Donnison Street West Gosford

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MASSING PERSPECTIVE 02 W/
ENVELOPE

Project Number Drawing Number 19074 DA043

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Kotara h 49524425 urchitect: y 8209

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RAW PERSPECTIVE ALONG BATLEY STREET



RAW PERSPECTIVE TOWARDS EASTERN SIDE OF ROOF TOP TERRACE



RAW PERSPECTIVE TOWARDS WESTERN SIDE OF ROOF TOP TERRACE

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Residential Flat Building

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MASSING PERSPECTIVE

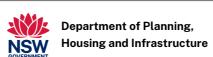
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PG/JG

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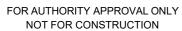


RENDERED PERSPECTIVE ALONG BATLEY STREET



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Residential Flat Building

53-55 Donnison Street West Gosford

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RENDERED PERSPECTIVE 01

@ A3
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RENDERED PERSPECTIVE ALONG BATLEY STREET



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Residential Flat Building

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RENDERED PERSPECTIVE 02

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RENDERED PERSPECTIVE DONNISON STREET FACADE



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RENDERED PERSPECTIVE 03

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DA052

19074





RENDERED PERSPECTIVE DONNISON STREET ENTRY



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Residential Flat Building

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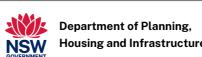
Australian Luxury Living

RENDERED PERSPECTIVE 04

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RENDERED PERSPECTIVE BATLEY STREET FACADE



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Residential Flat Building

53-55 Donnison Street West Gosford

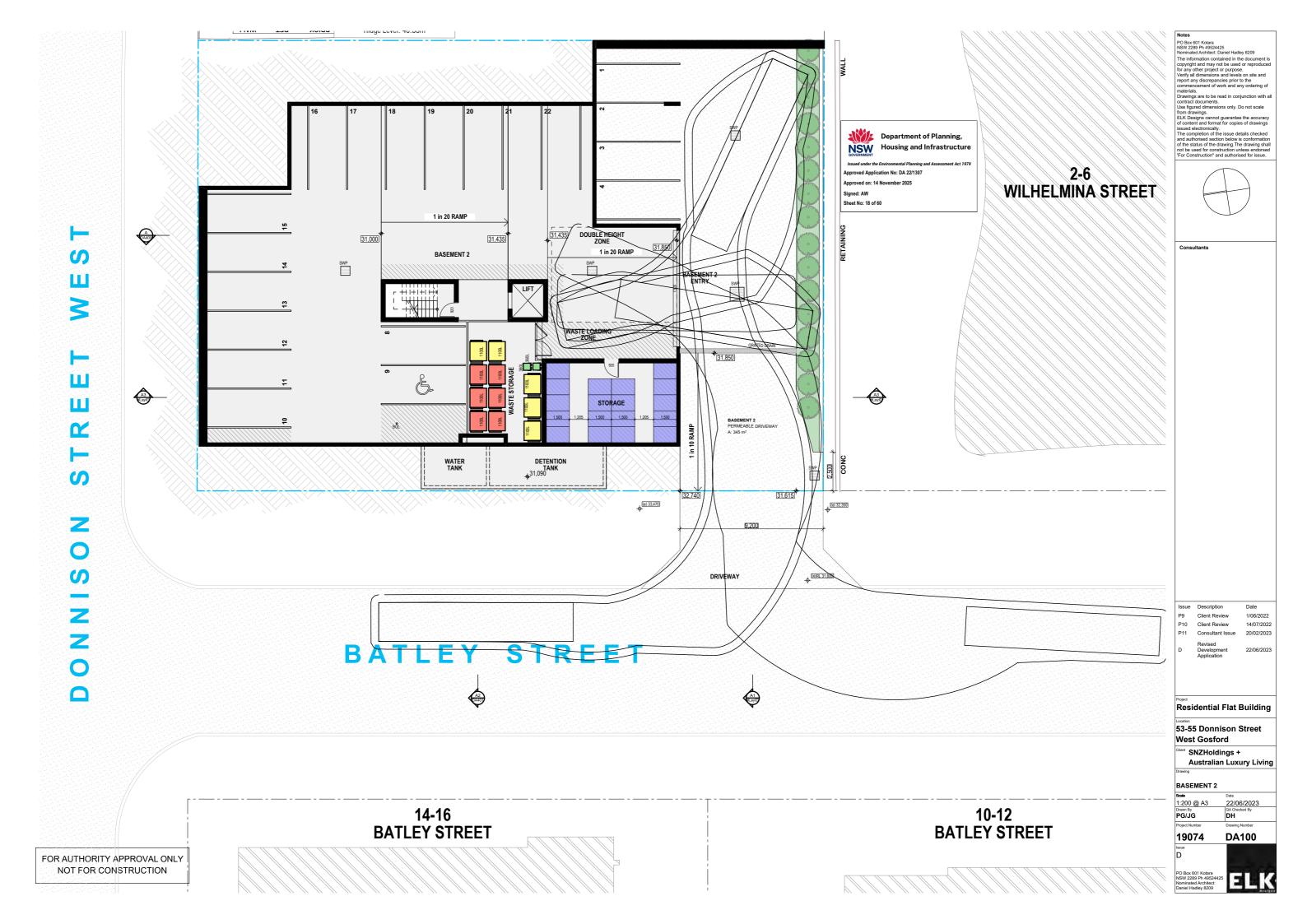
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RENDERED PERSPECTIVE 05

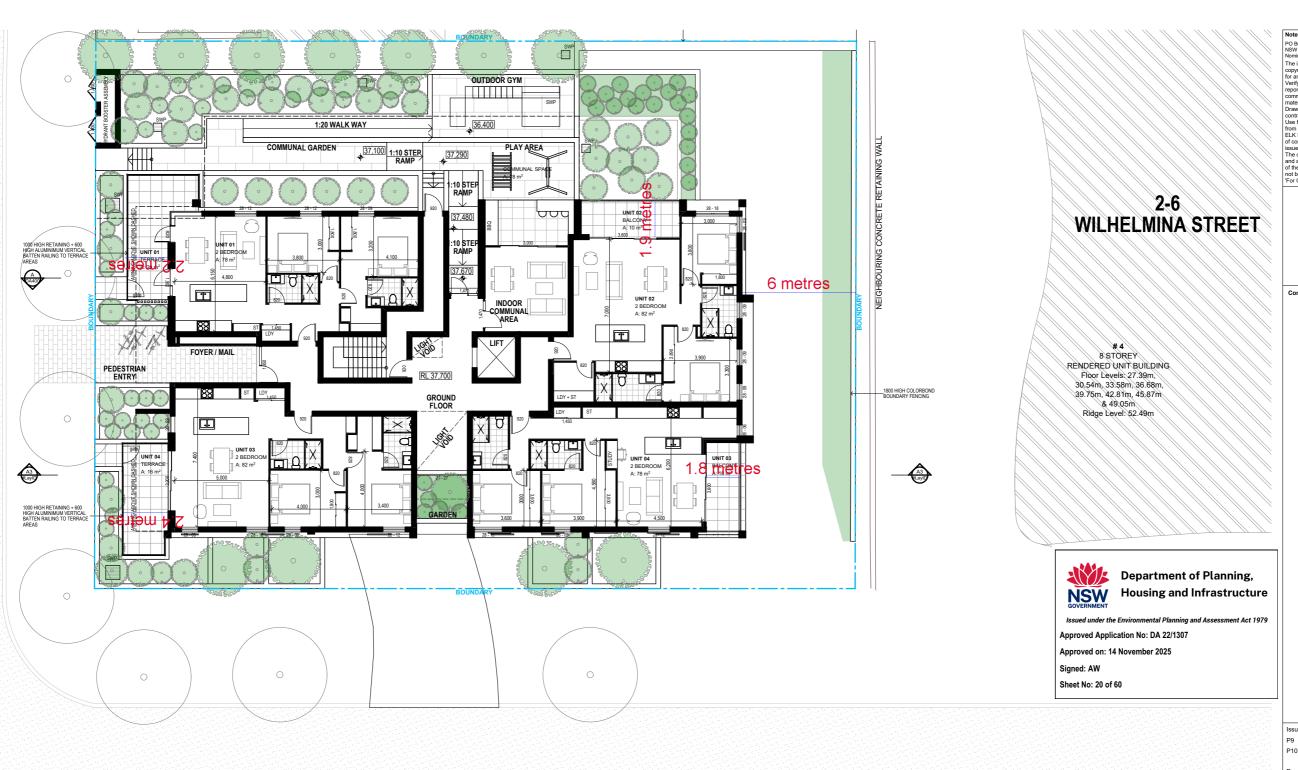
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BATLEY STREET



GROUND FLOOR

1:200 @ A3

22/06/2023 PG/JG DH

Client Review

Residential Flat Building 53-55 Donnison Street West Gosford SNZHoldings + Australian Luxury Living

19074 **DA120**

1/06/2022

14/07/2022

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14-16 BATLEY STREET

10-12 **BATLEY STREET**









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PG/JG DH 19074 **DA130**

1:200 @ A3

22/06/2023

1/06/2022

14/07/2022



BATLEY STREET





NSW Housing and Infrastructure

Approved Application No: DA 22/1307

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Residential Flat Building

1/06/2022

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53-55 Donnison Street West Gosford

Client Review

SNZHoldings + Australian Luxury Living

SECOND FLOOR

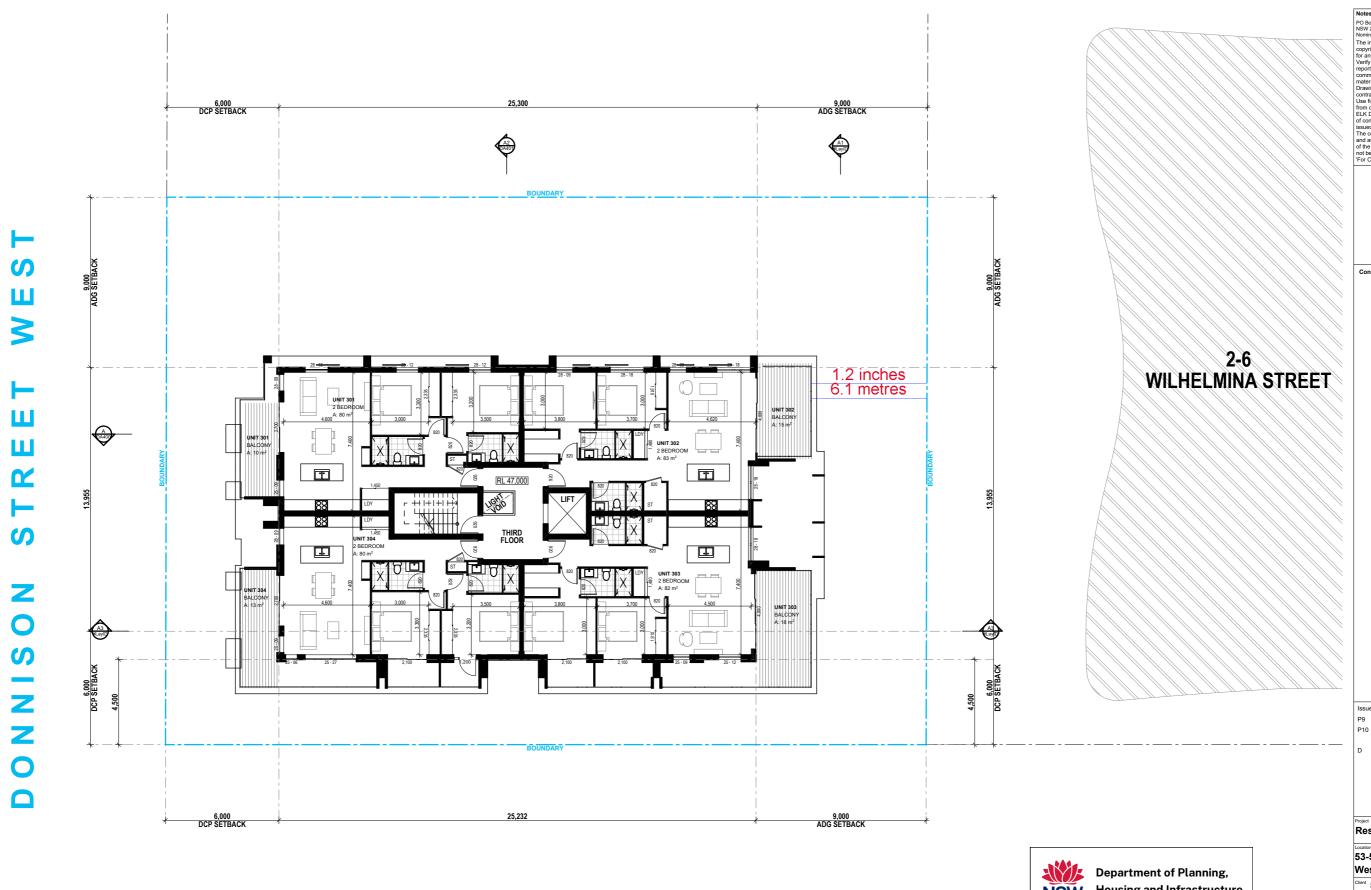
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BATLEY STREET





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1/06/2022 Client Review 14/07/2022

Residential Flat Building

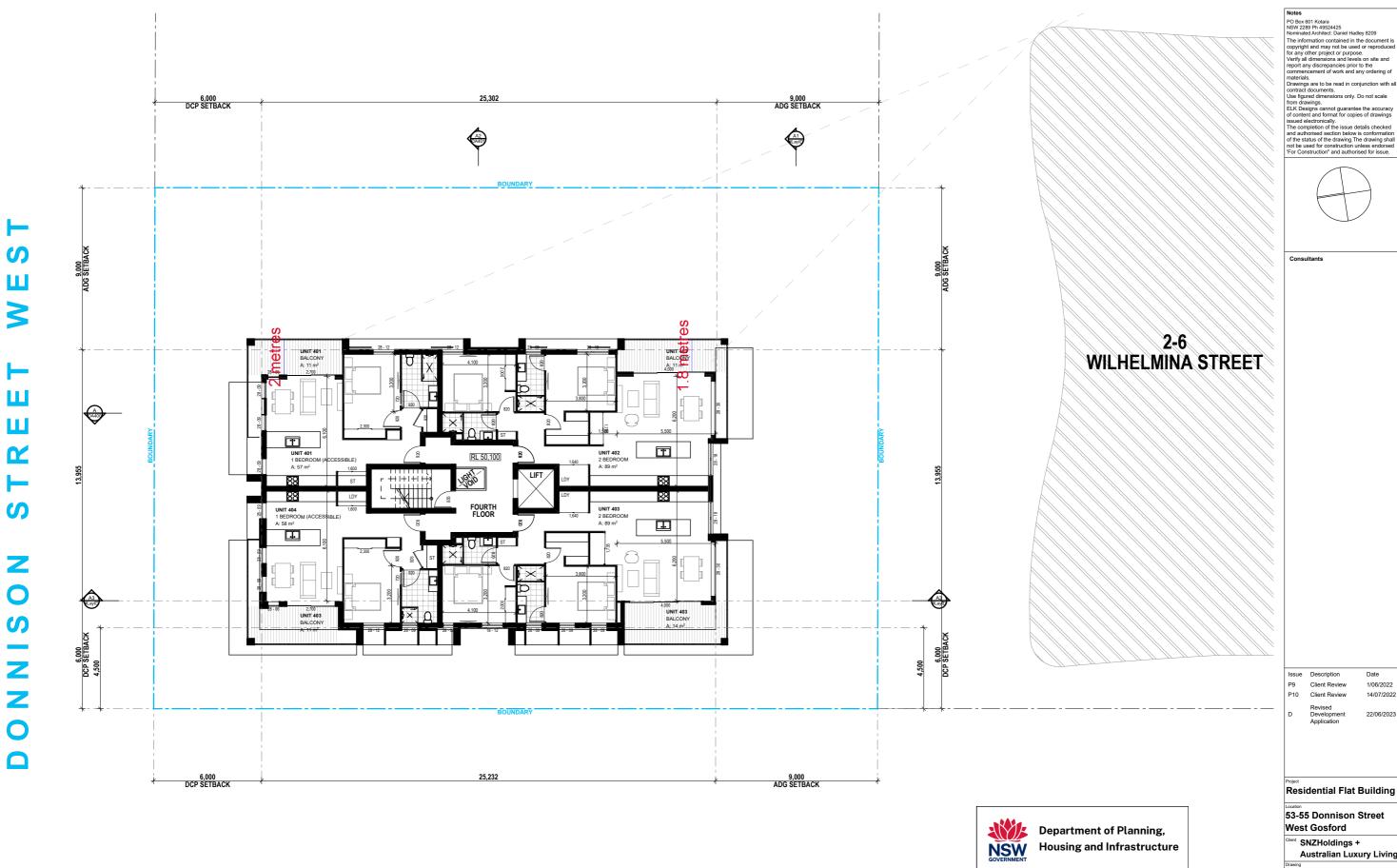
53-55 Donnison Street West Gosford

SNZHoldings + Australian Luxury Living

THIRD FLOOR

22/06/2023 1:200 @ A3 PG/JG DH

19074









West Gosford SNZHoldings +

Approved Application No: DA 22/1307

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PG/JG 19074

1:200 @ A3

FOURTH FLOOR

DH **DA160**

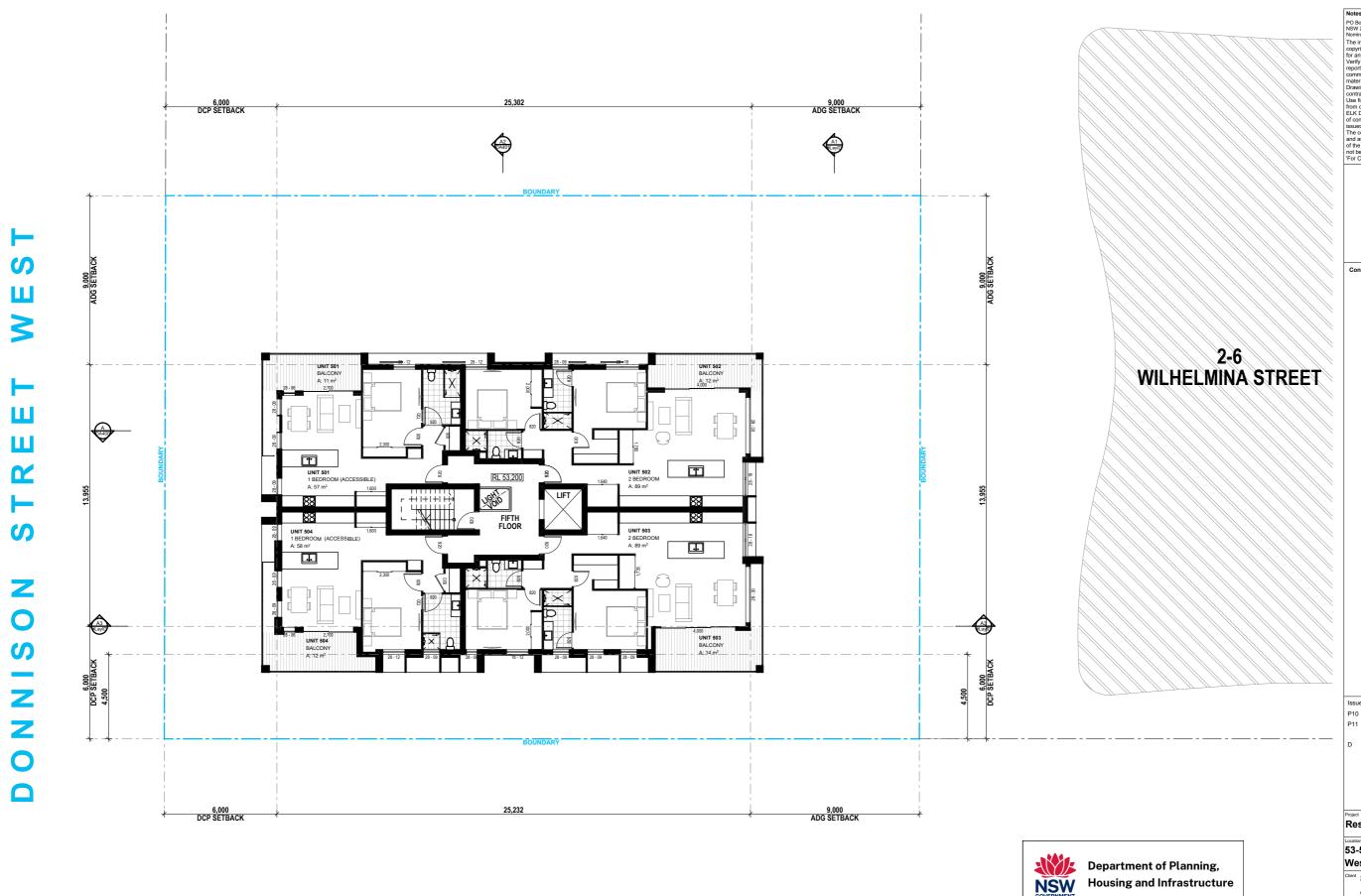
22/06/2023

1/06/2022

14/07/2022

Client Review





BATLEY STREET





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1/06/2022 Client Review 14/07/2022

Residential Flat Building

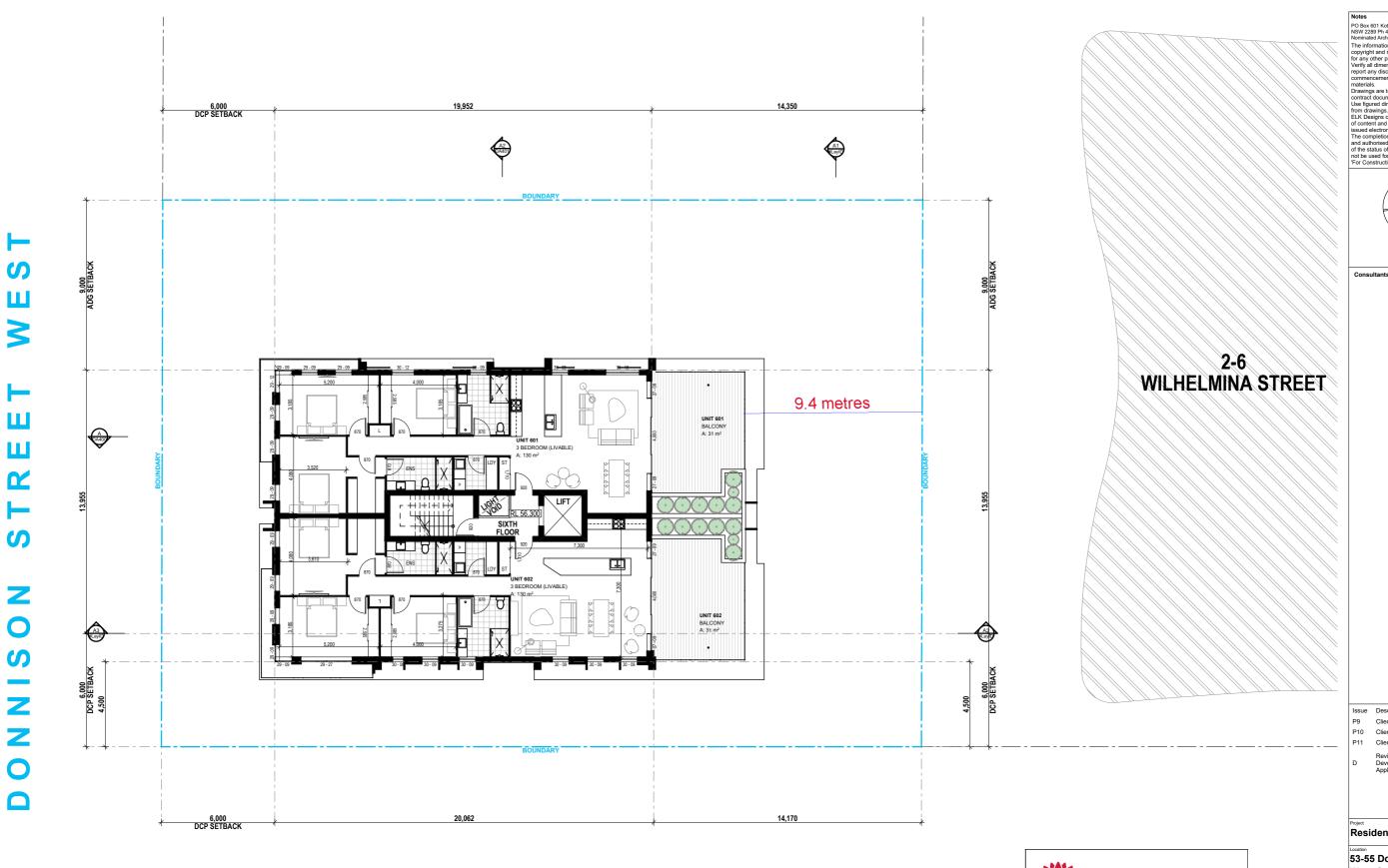
53-55 Donnison Street West Gosford

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FIFTH FLOOR

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19074



BATLEY STREET







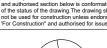
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1/06/2022 Client Review 14/07/2022 Client Review 26/07/2022

Residential Flat Building

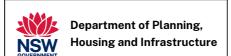
53-55 Donnison Street West Gosford

SNZHoldings + Australian Luxury Living

SIXTH FLOOR

1:200 @ A3 22/06/2023 PG/JG DH

19074



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ELEVATION NOTES

- 1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
- 2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
- 3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
- 4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.
- 5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION





Residential Flat Building

53-55 Donnison Street West Gosford

Client Review

Client Review

1/06/2022

14/07/2022 22/06/2023

SNZHoldings + Australian Luxury Living

NORTHERN ELEVATION

22/06/2023

1:200 @ A3 PG/JG DH



Sheet No: 28 of 60

ELEVATION NOTES

- 1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
- 2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
- 3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
- 4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.
- 5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

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Client Review 1/06/2022 Client Review 14/07/2022 Residential Flat Building

53-55 Donnison Street West Gosford

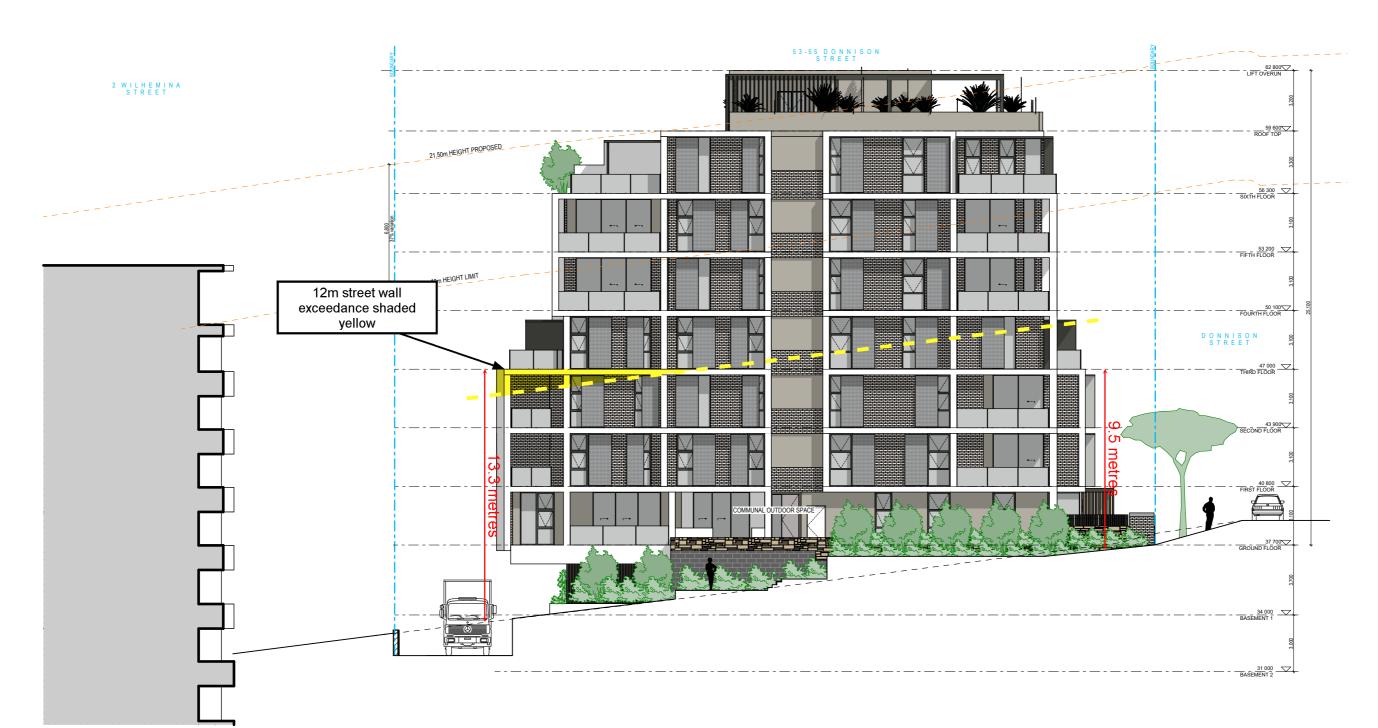
SNZHoldings + Australian Luxury Living

EASTERN ELEVATION

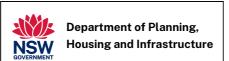
22/06/2023 PG/JG DH

DA301

19074



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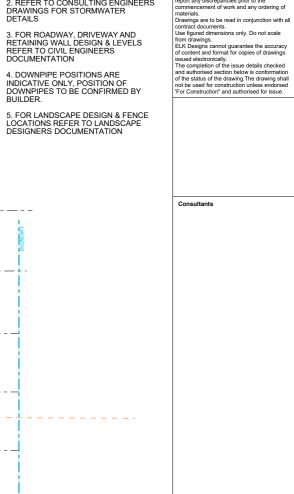
Approved Application No: DA 22/1307

Approved on: 14 November 2025

Signed: AW Sheet No: 29 of 60

ELEVATION NOTES

- 1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
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Issue	Description	Date
P5	Client Review	1/06/2022
P6	Client Review	14/07/2022
D	Revised Development Application	22/06/2023

Residential Flat Building

53-55 Donnison Street West Gosford

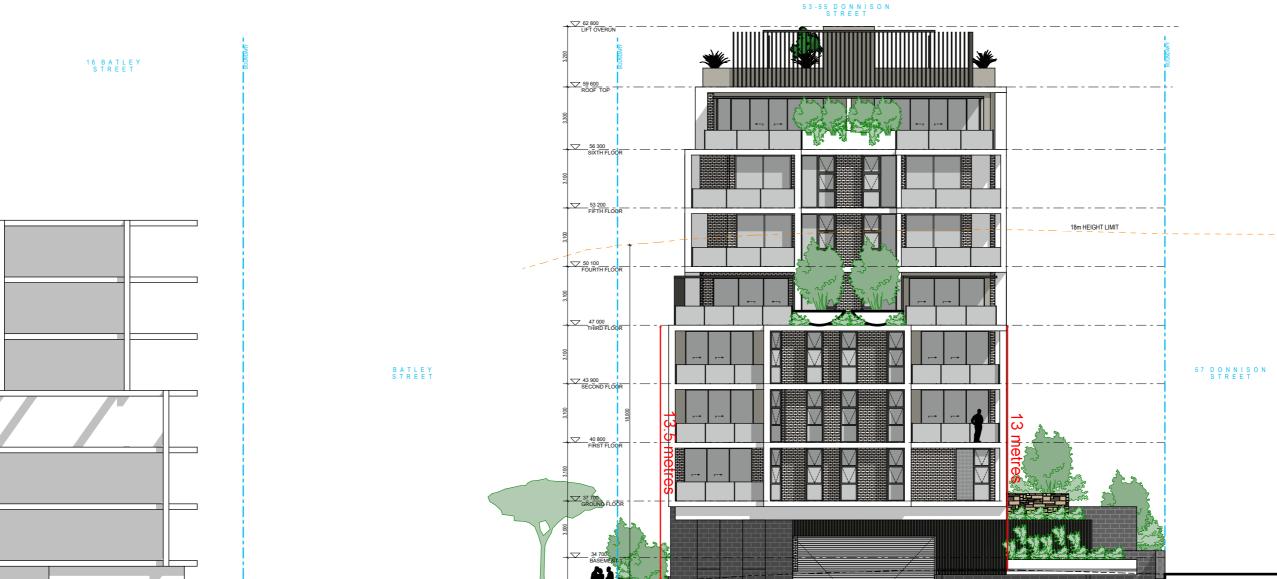
SNZHoldings + Australian Luxury Living

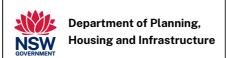
SOUTHERN ELEVATION

Scale	Date
1:200 @ A3	22/06/20
Drawn By	QA Checked By
PG/JG	DH

DA302

19074





Approved Application No: DA 22/1307

Approved on: 14 November 2025

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Sheet No: 30 of 60

ELEVATION NOTES

- 1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
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Client Review 1/06/2022 Client Review 14/07/2022 22/06/2023

Residential Flat Building

53-55 Donnison Street West Gosford

SNZHoldings + Australian Luxury Living

WESTERN ELEVATION

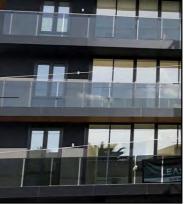
1:200 @ A3 PG/JG

19074

22/06/2023 DH **DA303**







DARK TINTED GLASS BALUSTRADES



ALUMINIUM GLAZING

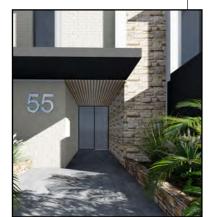


PERFORATED METAL SCREENING





ALUMINIUM EXTRUDED FINS



STACKED STONE CLADDING



STACKED NATURAL STONE OR SIM



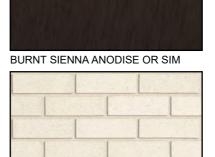
COLORBOND MONUMENT



EXPRESSED SLAB EDGE CONCRETE



LIGHT COLOURED FACEBRICK



PGH CREVOLE OR SIM



Department of Planning, NSW Housing and Infrastructure

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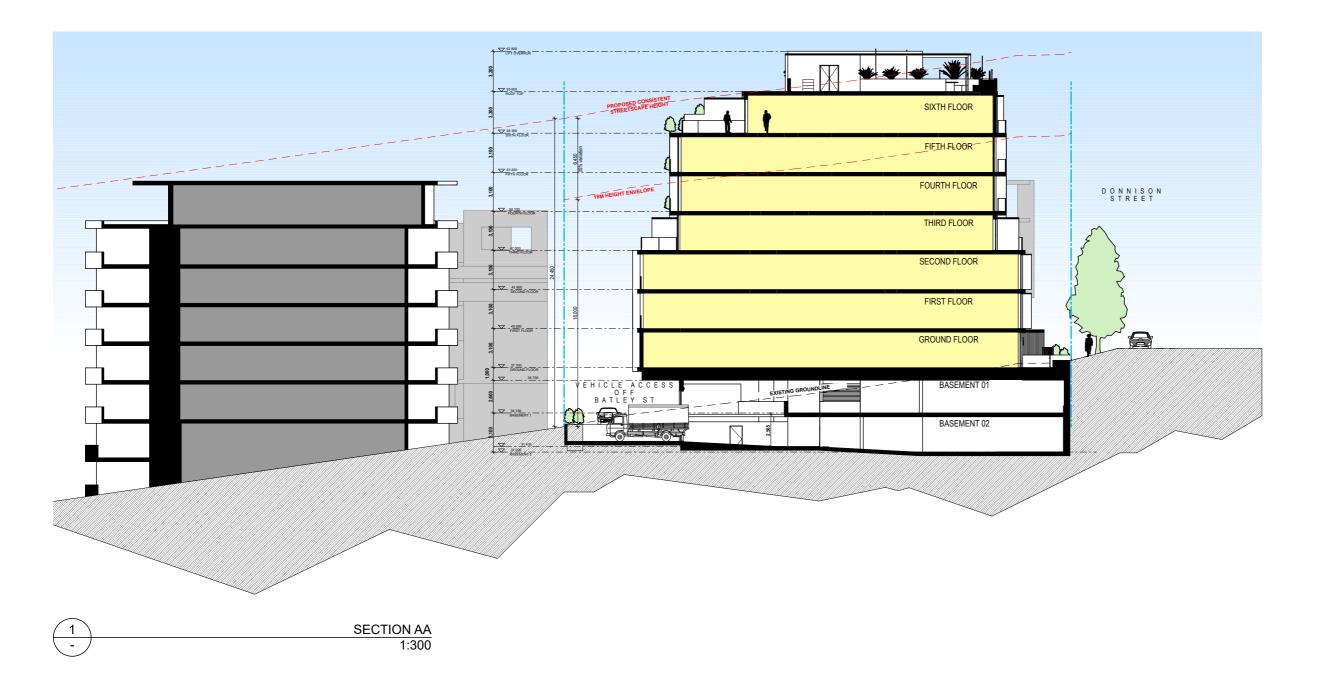
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EXTERNAL FINISHES

PG/JG DH





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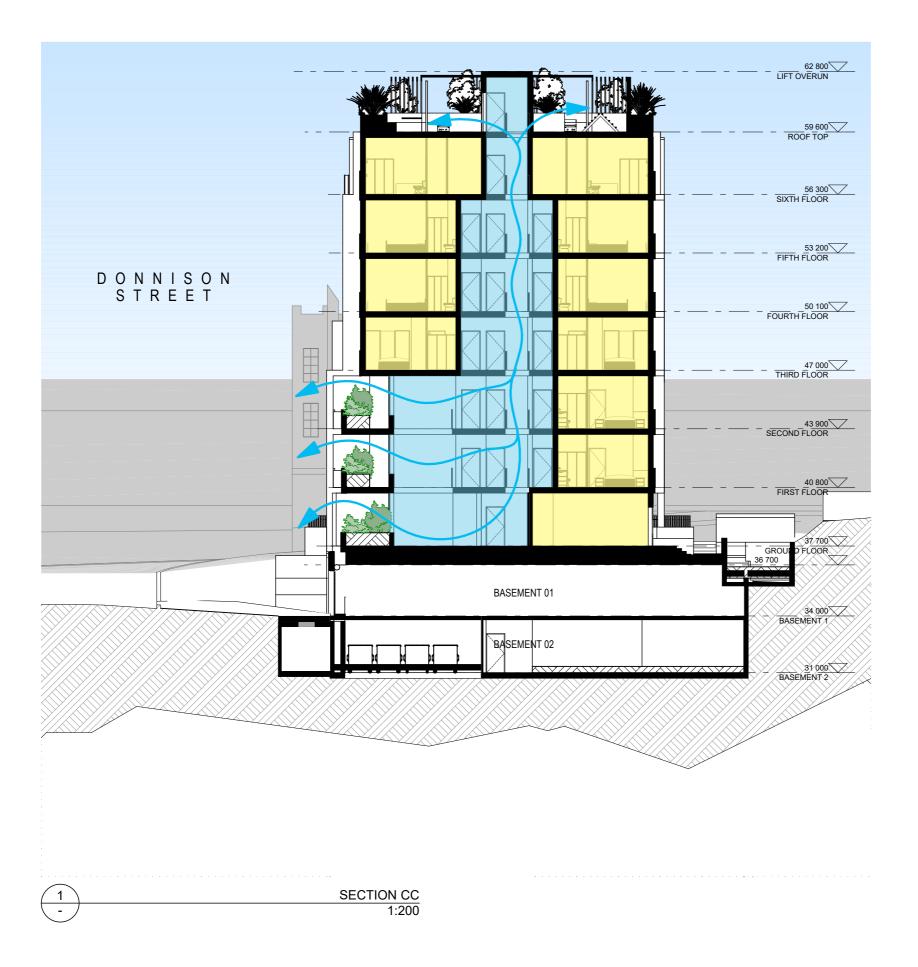
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SECTION A-A

22/06/2023 QA Checked By 1:300 @ A3 PG/JG DH

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Issue	Description	Date
P1	Client Review	1/06/2022
P2	Client Review	14/07/2022
Revised	Development	22/06/2023
Application		

Residential Flat Building

53-55 Donnison Street West Gosford

Client SNZHoldings +
Australian Luxury Living

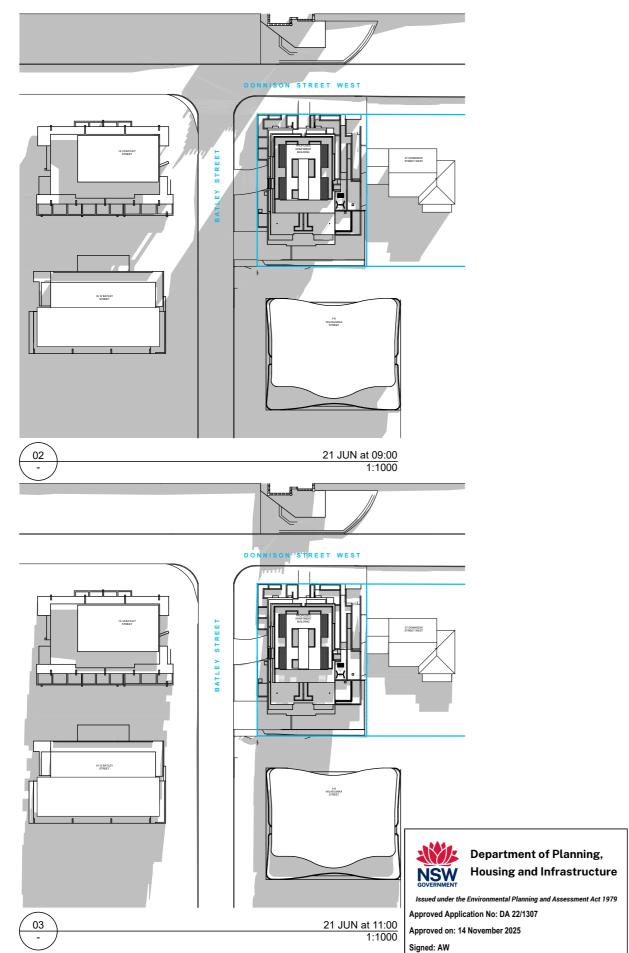
SECTION B-B

| Scale | Date | | 1:200 @ A3 | | 22/06/2023 | | Drawn By | QA Checked By | PG/JG | DH | |

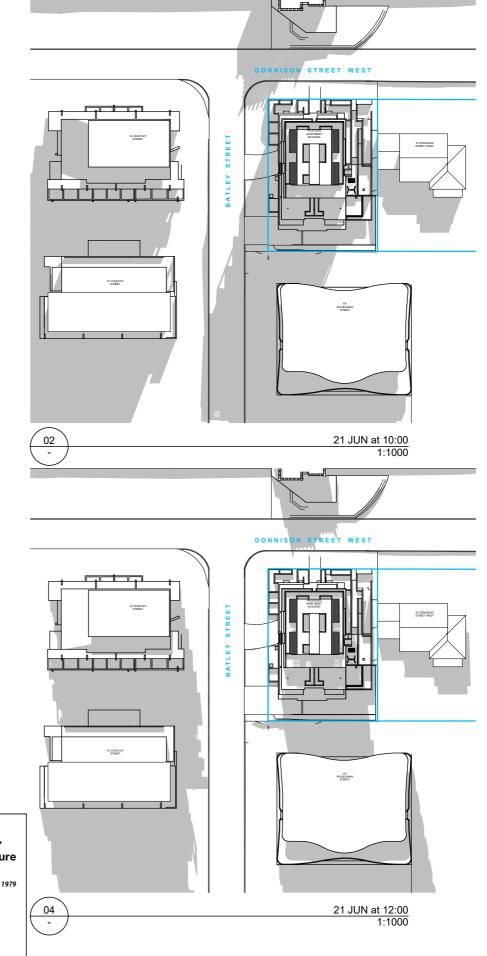
19074 DA401

601 Kotara 89 Ph 49524425 ed Architect: adley 8209

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Residential Flat Building

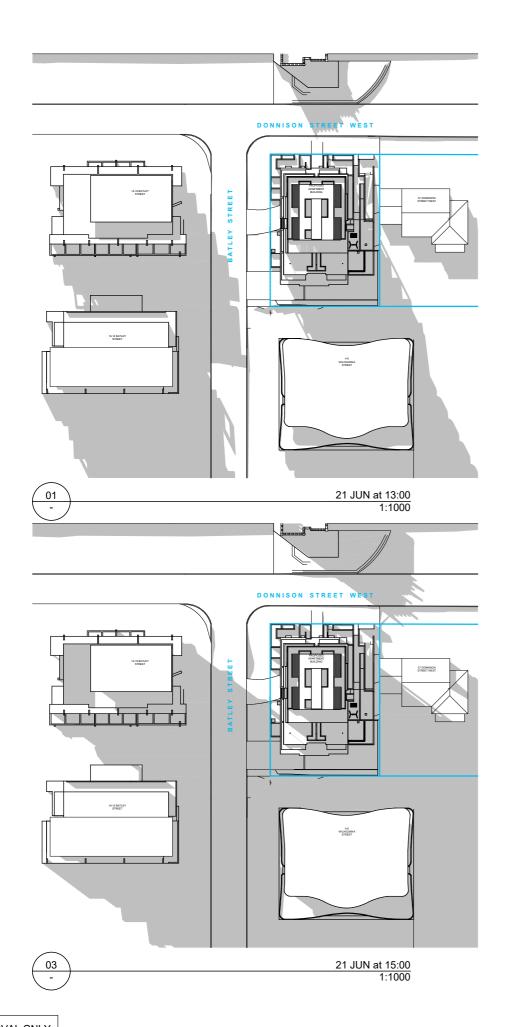
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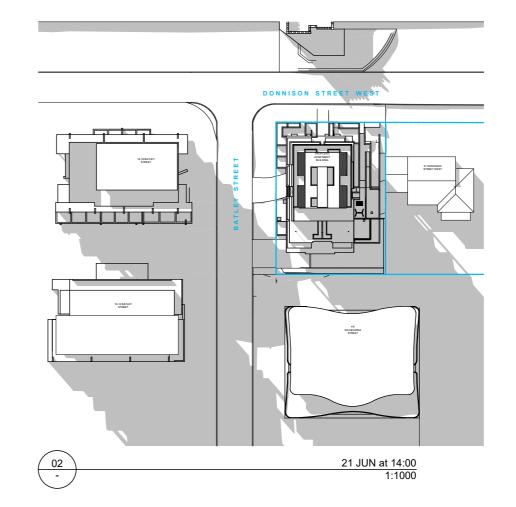
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EXTERNAL SHADOW DIAGRAMS 22/06/2023 1:1000 @ A3

PG/JG

DH







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Client Review 1/06/2022 Client Review 14/07/2022 Residential Flat Building 53-55 Donnison Street West Gosford ™ SNZHoldings +

Australian Luxury Living

22/06/2023

DA901

DH

EXTERNAL SHADOW DIAGRAMS

1:1000 @ A3

PG/JG

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9am Shadow Analysis (June 21st) - 2 Wilhelmina Street

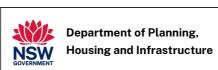
10am Shadow Analysis (June 21st) - 2 Wilhelmina Street



11am Shadow Analysis (June 21st) - 2 Wilhelmina Street



12pm Shadow Analysis (June 21st) - 2 Wilhelmina Street



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Client Review 1/06/2022 Client Review 14/07/2022

Residential Flat Building

53-55 Donnison Street West Gosford

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SHADOW ANALYSIS - 2

WILHELMINA STREET

22/06/2023 1:3.57 @ A3 PG/JG

DH





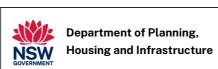
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2pm Shadow Analysis (June 21st) - 2 Wilhelmina Street



3pm Shadow Analysis (June 21st) - 2 Wilhelmina Street

4pm Shadow Analysis (June 21st) - 2 Wilhelmina Street



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Residential Flat Building

53-55 Donnison Street West Gosford

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SHADOW ANALYSIS - 2

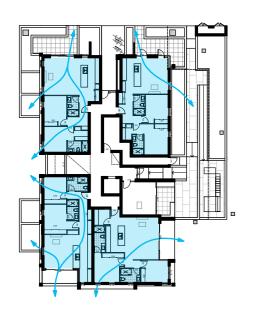
WILHELMINA STREET

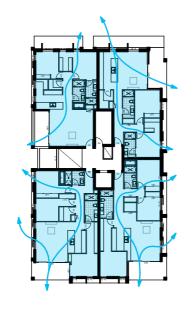
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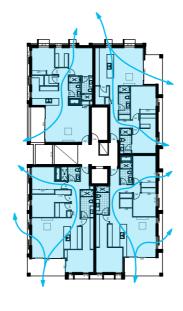
DH

19074 **DA903**









CROSS VENTILATION LEGEND

UNITS ACHIEVING FULL CROSS VENTILATION



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CALCULATIONS

SINGLE ASPECT

2:1 WIDTH TO DEPTH RATIO **FULL CROSS VENTILATION**

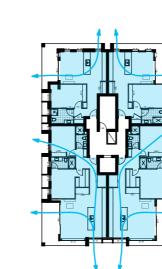
TOTAL UNITS MEETING NATURAL VENTILATION APERTMENT DESIGN GUIDE OBJECTIVE 4B-3

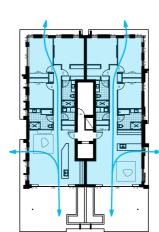
100%

GROUND FLOOR

FIRST FLOOR

SECOND FLOOR





22/06/2023

THIRD FLOOR

FOURTH FLOOR

FIFTH FLOOR

SIXTH FLOOR

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Sheet No: 38 of 60

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Residential Flat Building

53-55 Donnison Street West Gosford

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CROSS VENTILATION DIAGRAMS

22/06/2023 1:500 @ A3 PG/JG DH

19074

DA950



Sediment and erosion control

All erosion and sediment control measures to be installed prior to site disturbance.

The project manager to inform all contractors and sub-contractors of their obligations under the erosion and sediment control plan. $\frac{1}{2} \int_{-\infty}^{\infty} \frac{1}{2} \left(\frac{1}{2} \int_{-\infty}^{\infty} \frac{$

Topsoil from all areas that will be disturbed to be stripped and stockpiled at the nominated site.

All sediment control structures to be inspected by site supervisor after each rainfall event for structural damage and all trapped sediment to be removed to a nominated stockpile site.

Sediment and erosion control shall be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the superintendent's

A single all weather access way will be provided at the front of the property consisting of 50-75 aggregate or similar material at a minimum thickness of 150 laid over needle-punched geotextile fabric and constructed prior to commencement of works.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that kerb inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage.

Sediment fencing shall be secured by post (where metal star pickets are used plastic safety caps shall be used) at 3000 intervals with geotextile fabric embedded 200 in soil.

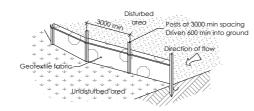
All topsoil stripped from the site and stockpiled does not interfere with drainage lines and stormwater inlets and will be suitably covered with an impervious membrane material and screened by sediment fencing.

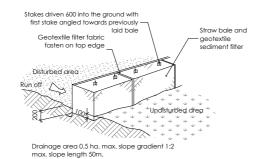
Soil conservation
Prior to commencement of construction provide 'sediment fence,'
'sediment trap' and washout area to ensure the capture of water borne
material generated from the site.

Maintain the above during the course of construction, and clear the 'sediment trap after each storm.

Sediment trap $1000\,x\,1000$ wide 500 deep pit, located at the lowest point to the trap

Provide sediment fence on down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.

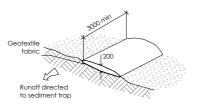




to be 1800 x 1800 allocated for the washing of tool and equipment

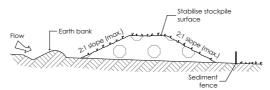


Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



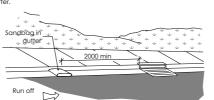
Building material stockpiles

All stockpiles of building material such as sand and soil must be protected to prevent scour and erosion. they should never be placed in the street gutter where they will wash away with the first rainstorm.



Sandbag kerb sediment trap

In certain circumstances extra sediment trapping may be needed in the street





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22/06/2023 Residential Flat Building 53-55 Donnison Street West Gosford SNZHoldings + Australian Luxury Living

SEDIMENT CONTROL

22/06/2023

DA960

DH

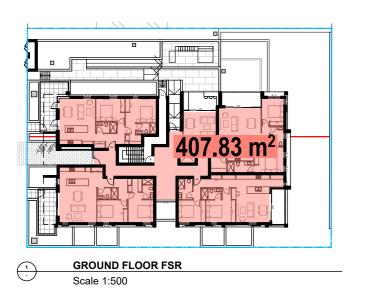
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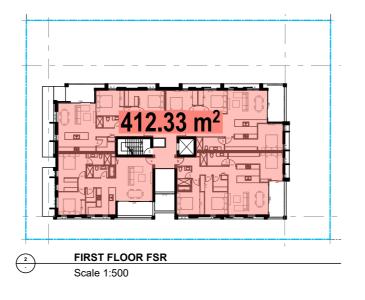
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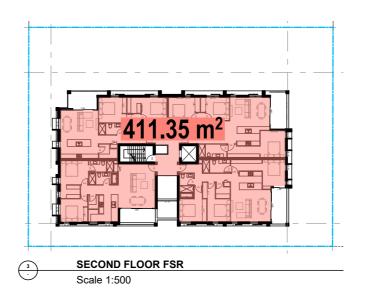
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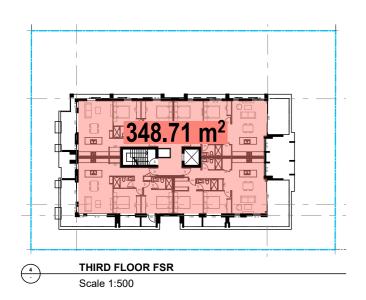
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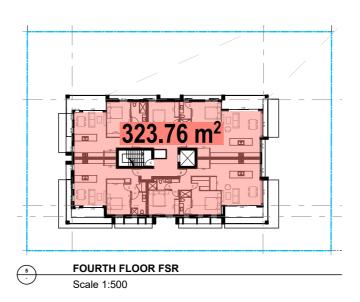
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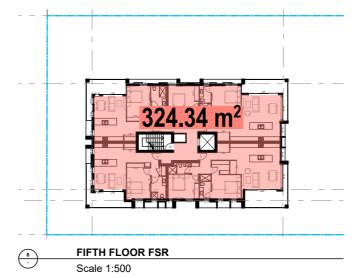


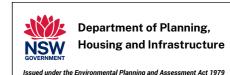










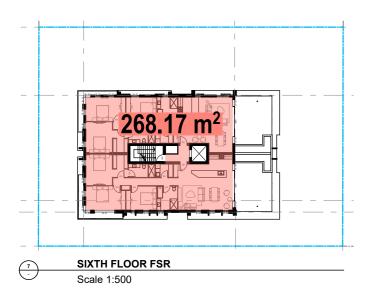


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Sheet No: 40 of 60



SR	2.14
ITE AREA	1165
	2496
IXTH FLOOR	268
IFTH FLOOR	324
OURTH FLOOR	324
HIRD FLOOR	349
ECOND FLOOR	412
IRST FLOOR	412
ROUND FLOOR	407

Issue Description Date

Revised Development 22/06/2023

Application

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Residential Flat Building

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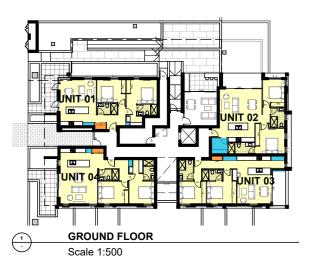
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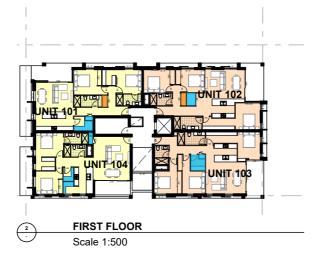
Project Number

DA970

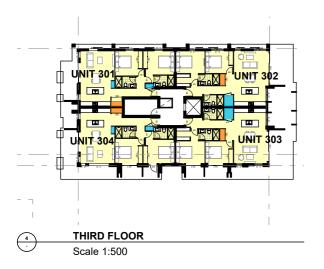
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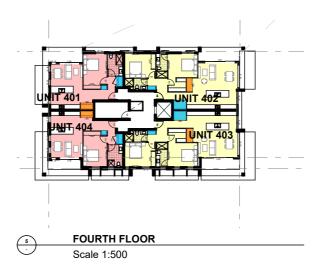
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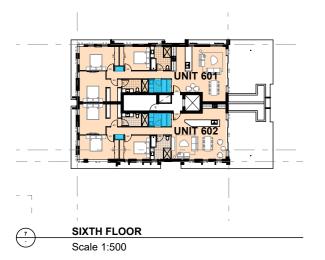




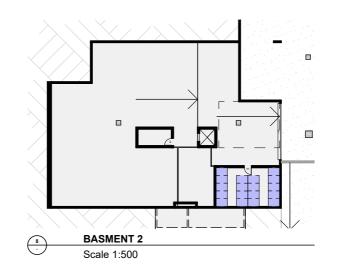












FOR AUTHORITY APPROVAL ONLY NOT FOR CONSTRUCTION

Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 22/1307

Approved on: 14 November 2025

Signed: AW

Sheet No: 41 of 60

ADG STORAGE



AREA CALCULATED



AREA OF CALCULATED @ 1700mm (O/ BENCHTOP STORAGE)



AREA OF CALCULATED @ 2400mm

ADG STORAGE REQUIREMENTS:

1 BED UNIT - 6m³

2 BED UNIT - 8m³
3 BED UNIT - 10m³

STORAGE CAGE

UNIT 01

UNIT 01

STORAGE CALCULATION (m3)

INTERNAL UNIT STORAGE 5

JNIT 01	STORAGE CAGE	4
JNIT 02	INTERNAL UNIT STORAGE	12
JNIT 02	STORAGE CAGE	4
JNIT 03	INTERNAL UNIT STORAGE	9
JNIT 03	STORAGE CAGE	4
JNIT 04	INTERNAL UNIT STORAGE	4
JNIT 04	STORAGE CAGE	4
JNIT 101	INTERNAL UNIT STORAGE	9
JNIT 101	STORAGE CAGE	4
JNIT 102	INTERNAL UNIT STORAGE	7
JNIT 102	STORAGE CAGE	4
JNIT 103	INTERNAL UNIT STORAGE	11
JNIT 103	STORAGE CAGE	4
JNIT 104	INTERNAL UNIT STORAGE	8
JNIT 104	STORAGE CAGE	4
JNIT 201	INTERNAL UNIT STORAGE	9
JNIT 201	STORAGE CAGE	4
JNIT 202	INTERNAL UNIT STORAGE	7
JNIT 202	STORAGE CAGE	4
JNIT 203	INTERNAL UNIT STORAGE	11
JNIT 203	STORAGE CAGE	4
JNIT 204	INTERNAL UNIT STORAGE	8
JNIT 204	STORAGE CAGE	4
JNIT 301	INTERNAL UNIT STORAGE	4
JNIT 301	STORAGE CAGE	8
JNIT 302	INTERNAL UNIT STORAGE	7
JNIT 302	STORAGE CAGE	8
UNIT 303	INTERNAL UNIT STORAGE	7
UNIT 303	STORAGE CAGE	8
UNIT 304	INTERNAL UNIT STORAGE	4
UNIT 304	STORAGE CAGE	8
UNIT 401	INTERNAL UNIT STORAGE	6
UNIT 401	STORAGE CAGE	8
JNIT 402	INTERNAL UNIT STORAGE	8
JNIT 402	STORAGE CAGE	8
UNIT 403	INTERNAL UNIT STORAGE	8
UNIT 403	STORAGE CAGE	8
UNIT 404	INTERNAL UNIT STORAGE	6
UNIT 404	STORAGE CAGE	8
JNIT 501	INTERNAL UNIT STORAGE	6
UNIT 501	STORAGE CAGE	8
JNIT 502	INTERNAL UNIT STORAGE	8
JNIT 502	STORAGE CAGE	8
JNIT 503	INTERNAL UNIT STORAGE	8
JNIT 503	STORAGE CAGE	8
JNIT 504	INTERNAL UNIT STORAGE	6
JNIT 504	STORAGE CAGE	4
JNIT 601	INTERNAL UNIT STORAGE	16
JNIT 601	STORAGE CAGE	4
JNIT 602	INTERNAL UNIT STORAGE	16

STORAGE CAGE

UNIT 602

Notes

PO Box 601 Kotara NSW 2289 Ph 49524425

W 2289 Ph 49524425

minated Architect: Daniel Hadley 8209

information contained in the docur

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Verify all dimensions and levels on site and report any discrepancies prior to the

report any discrepancies prior to the commencement of work and any ordering of materials. Drawings are to be read in conjunction with

Drawings are to be read in conjunction with contract documents.

Use figured dimensions only. Do not scale from drawings.

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Consultants

Project
Residential Flat Building

22/06/2023

53-55 Donnison Street
West Gosford

Client SNZHoldings +
Australian Luxury Living

STORAGE CAI CUI ATION

STORAGE CALCULATION
Scale Date

19074 DA980

DAS

D Box 601 Kotara SW 2289 Ph 49524425 minated Architect: niel Hadley 8209

4



LOCATION PLAN Scale: NTS





RL 37.00 Proposed architectural level RL 37.00 Proposed garden bed level

RL 37.00 Proposed hyd eng level

Council's turf strip

Artificial turf area - refer detail 5

Paving by arhictect-refer architect's detail

Tree pit-street tree planting refer detail 10

Retaining / raised planter wall - refer detail 3 & 8 Trees proposed to be removed and replaced with new landscaping

Existing trees proposed to be retained

and protected

Proprietary outdoor furniture to be nom. by client to manufacturer's specification refer detail 7

₽ ₹

Fitness equipment to be nom. by client refer detail 2

Department of Planning, **Housing and Infrastructure** Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: DA 22/1307 Approved on: 14 November 2025 Signed: AW Sheet No: 42 of 60

GRATED DRAIN 2 BEDROOM

SEMENT 2

DRIVEWAY

RMEABLE DRIVEWAY

RL 31.40

- DRIVEWAY TO ENG'S DETAILS

RL 30.75

28 - 18

PROPRIETARY OUTDOOR

RL 34.50

RL 37.60

BALCONY A: 10 m

UNIT 02

A: 82 m²

RL 32.70

PROPOSED PATH

- STORMWATER DRAINAGE

- REFER HYD ENG'S DETAILS

DETENTION TANK

2 BEDROOM

MANUFACTURER'S **SPECIFICATION**

FURNITURE REFER DETAIL 7 - OR TO BE NOM. BY CLIENT TO

EQUIPMENTS ON

ARTIFICIAL TURF

- REFER DETAIL 2

RL 36.40

RL337929

1:10 STEP

RAMP

RL 37.70

GROUND FLOOR

INDOOR

COMMUNAL

LIFT

AREA

RL 37.00

1:20 WAY

COMMUNAL GARDEN

RL 38.10

RL 37.10

37,100 1:10 STER RAMP

RL 34.25

RL 34.45

RL 34.50

BATLEY STREET

DEEP SOIL CALCULATIONS Calculation by architect, refer to architectural drawing 19074- DA035 ISSUE D - Site Coverage Plan

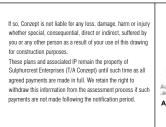
SITE AREA:

REQUIRED DEEP SOIL AREA: 81.55m² (7%) (3 M MINIMUM WIDTH)

PROPOSED DEEP SOIL AREA: 164m² (14.1%) (COMPLIANT)

PERVERABLE DRIVEWAY AND PARKING BELOW





S

NISO



PROPOSED NEW CONCRETE — PATH BY ARCHITECTS

TREE PIT LOCATION

RL 37.10

UNIT 01 2 BEDROOM A: 78 m²

FOYER/MAIL

00

₩ ₩ 2 BEDROOI A: 82 m²

PROPOSED PATH

RL 37.00

RL 37.40

RL 37.50

ENTRY

STREET TREE

DETAIL 10

PLANTING REFER





RL 34.80 RL 34.70

min.3m

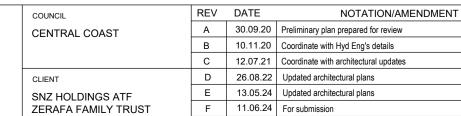
DRIVEWAY TO ENG'S DETAILS -



- <u>WATER TANK</u> - REFER HYD ENG'S DETAILS

BOUNDARY





G 26.11.24 Coordinated with Swept Path updates

HARDSCAPE/ SITE PLAN		DEVELOPMENT APPLICATION		
		SCALE:	DATE:	
		1:100 @ A1	NOV 2024	
VG.No:	PAGE NUMBER:	DRAWN:	CHECKED:	
LPDA 21 - 087	1	R.HL.Z	R.F	

LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.

2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT. 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH

APPROVED LANDSCAPE PLANS. 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID

DAMAGE AND CLASHING WITH SURFACE ROOTS 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

75Lt

200mm

200mm

Botanical Name: Grevillea 'Crimson Villea'

200mm

200mm

200mm

200mm

200mm

200mm

12

20

Mature H x S: $1m \times 0.9m$

Qty Required:

Mature H x S: 0.8m x 0.8m

Common Name: Crimson Villea Grevillea (Native)

TREES



Botanical Name: Corymbia maculata **Common Name:** Spotted Gum (Native) Pot size: **Mature H x S:** 35-45m x 14-20m Qty Required:

Botanical Name: Cupaniopsis anacardioides Common Name: Tuckeroo (Native) Pot size: **Mature H x S:** 8-10m x 3-5m Qty Required:

Botanical Name: Callistemon viminalis **Common Name:** Weeping Bottlebrush (Native) Pot size: Mature H x S: 8m x 5m Qty Required:

Botanical Name: Buckinghamia celsissima **Common Name:** Ivory Curl Flower (Native) Pot size: **Mature H x S:** 7m x 3-4m Qty Required: 1

Botanical Name: Elaeocarpus reticulatus **Common Name:** Blueberry Ash (Native) Pot size: **Mature H x S:** 8-10m x 6-7m

Qty Required: Botanical Name: Tristaniopsis laurina 'Luscious' Common Name: Watergum (Native) Pot size: **Mature H x S:** 5-8m x 3-5m **Qty Required:**

SHRUBS AND HEDGES **Botanical Name:** Syzygium australe 'Pinnacle' Common Name: Pinnacle Lilly Pilly (Native) Pot size:

Mature H x S: 6-8m x 1-1.5m Qty Required: 8 **Botanical Name:** Syzygium 'Cascade' Common Name: Cascade Lilly Pilly (Native) Pot size: **Mature H x S:** 2.5m x 1.8m Qty Required: 6

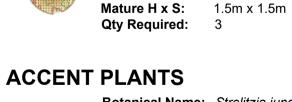
Pot size:

Qty Required:

Botanical Name: Banksia spinulosa 'Birthday Candles' **Common Name:** Banksia Birthday Candles (Native) Pot size: **Mature H x S:** 0.6m x 0.9m Qty Required: Botanical Name: Westringia 'Aussie Box' **Common Name:** Westringia Aussie Box (Native)

Pot size: **Mature H x S:** 0.9m x 0.9m Qty Required: Botanical Name: Callistemon 'Better John' **Common Name:** Better John Bottlebrush (Native) Pot size:





Botanical Name: Strelitzia juncea Common Name: Rush-leaved Strelitzia (Exotic) Pot size: **Mature H x S:** 1.5m x 1m Qty Required: 33



SHADES





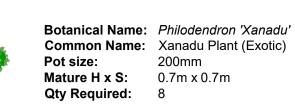




Botanical Name: Russelia equisetiformis Common Name: Firecracker (Exotic) Qty Required: 18

200mm **Mature H x S:** 1m x 1.2m

Botanical Name: Asplenium australasicum **Common Name:** Birds Nest Fern (Native) Pot size: **Mature H x S:** 1m x 1.4m Qty Required:



Botanical Name: Zamia furfuracea Common Name: Cardboard Palm (Exotic)

Mature H x S: 1m x 1.25m

200mm

GRASSES + GROUNDCOVERS

Qty Required: 12

Pot size:



Botanical Name: Liriope muscari 'Just Right' Common Name: Liriope Just Right (Exotic) **Mature H x S:** 0.5m x 0.5m Qty Required: 7/m2 (7.0m2 total) Botanical Name: Dichondra argentea 'Silver Falls'

Common Name: Silver Falls Dichondra (Exotic) Pot size:

140mm Mature H x S: 0.15m x spreading Qty Required: 9/m2 (10.5m2 total) Botanical Name: Viola hederacea Common Name: Sweet Violet (Native) Pot size: 140mm

Mature H x S: 0.2m x spreading Qty Required: 9/m2 (20.5m2 total)

Botanical Name: Myoporum parvifolium 'Yareena' Common Name: Creeping Boobialla (Native) Pot size: Mature H x S: 0.15m x spreading Qty Required: 7/m2 (41m2 total)

Carex appressa Juncus amabilis Isolepis nodosa

Pot size:

Mature H x S: < 0.6m

Bio-retention groundcover Mix: Lomandra 'Shara'

Tubestock Qty Required: 7-9/m2 (8.0m2 total)

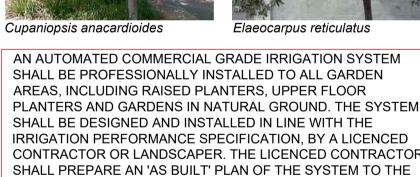












LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Retaining wall details to engineers design.

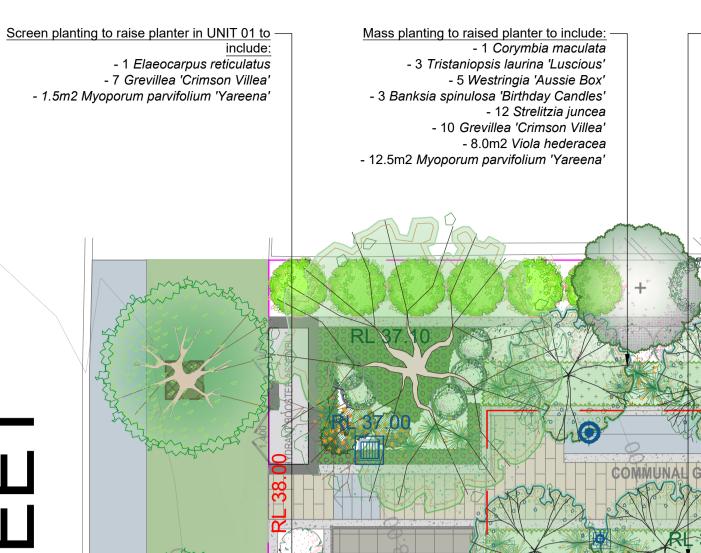
Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

Landscaping Guidelines & requirements. Planting proposed using commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (acceptable for Basix planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site



RL 37.40

PEDESTRIAN

ENTRY

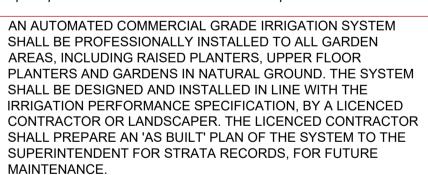
2 BEDROOM

A: 78 m²

FOYER/MAIL

UNIT 03

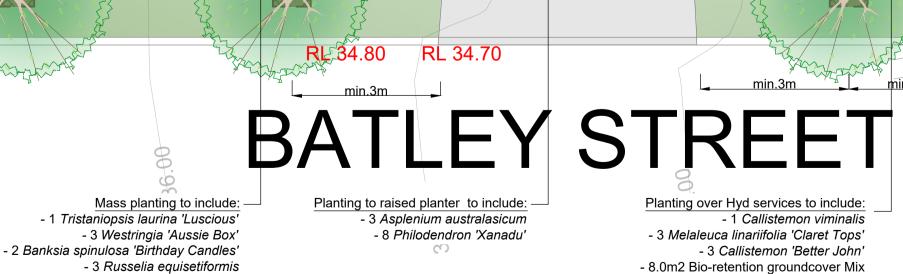




This plan has been prepared with reference to **CENTRAL COAST Councils**

continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. existing established trees to be supervised by arborist.

coverage restrictions & should be constructed as drawn on this plan.



RL 34.25

RL 34.45

RL 34.50

NOTATION/AMENDMENT

Street trees to include:

Screen planting to side boundary to

- 8 Syzygium australe 'Pinnacle'

- 3 Elaeocarpus reticulatus

- 6 Syzygium 'Cascade'

RL337929

1:10 STEP

RAMP

RAMP

GROUND FLOOR

BOUNDARY

INDOOR

AREA

COMMUNAL

Mass planting in raised planter to include:

- 6 Banksia spinulosa 'Birthday Candles'

- 7.5m2 Dichondra argentea 'Silver Falls'

- 6.5m2 Myoporum parvifolium 'Yareena'

RL 30.75

GRATED DRAIN

RMEABICE DRIVEWAY

- 1 Buckinghamia celsissima

- 5 Grevillea 'Crimson Villea'

- 9 Westringia 'Aussie Box'

- 6 Russelia equisetiformis

- 4.5m2 Viola hederacea

- 6 Strelitzia juncea

UNIT 02

A: 82 m²

A: 78 m²

2 BEDROOM

Mass planting to raised planter along building

- 3 Tristaniopsis laurina 'Luscious'

- 10m2 Myoporum parvifolium 'Yareena'

- 10 Grevillea 'Crimson Villea'

- 12 Strelitzia juncea

Mass planting to include: - 1 Tristaniopsis laurina 'Luscious' - 3 Westringia 'Aussie Box' - 3 Russelia equisetiformis

- 3 Strelitzia juncea - 4.0m2 Myoporum parvifolium 'Yareena'

DRIVEWAY

Planting to Basement 2:

- 4 Zamia furfuracea

- 4m2 Viola hederacea

Department of Planning, **Housing and Infrastructure**

- <u>Planting to along boundary to include:</u>

Plantings coordinated with Swept Path

- 6 Russelia equisetiformis

- 4.5m2 Viola hederacea

- 8 Zamia furfuracea

Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: DA 22/1307

Approved on: 14 November 2025

Signed: AW

Sheet No: 43 of 60

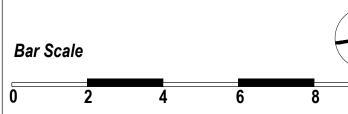
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- 1 Callistemon viminalis

- 2 Elaeocarpus reticulatus

- 8 Grevillea 'Crimson Villea'

- 2 Asplenium australasicum

Screen planting to raise planter in UNIT 03 to

- 3 Banksia spinulosa 'Birthday Candles'

- 3.0 m2 Dichondra argentea 'Silver Falls'

- 2.5m2 Myoporum parvifolium 'Yareena'

- 1.0 m2 Liriope muscari 'Just Right'



Suit 101, 506 Miller Street, CAMMERAY NSW 2062	
Phone: 9922 5312 Mob: 0413 861 351	
www.conzept.net.au enquiries@conzept.net.au	

MAR

CENTRAL COAST SNZ HOLDINGS ATF

- 6.0m2 Liriope muscari 'Just Right'

- 3.0m2 Myoporum parvifolium 'Yareena'

A 30.09.20 Preliminary plan prepared for review B 10.11.20 Coordinate with Hyd Eng's details C 12.07.21 Coordinate with architectural updates D 26.08.22 Updated architectural plans E 13.05.24 Updated architectural plans F 11.06.24 For submission ZERAFA FAMILY TRUST G 26.11.24 Coordinated with Swept Path updates

PROPOSED APARTMENT **DEVELOPMENT** 53-55 DONNISON STREET WEST GOSFORD

- 6 Cupaniopsis anacardioides

LANDSCAPE PLAN **DEVELOPMENT APPLICATION** -GF & BASEMENT 1:100 @ A1 NOV 2024 R.F LPDA 21 - 087 R.HL.Z

LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND

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4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS

5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID

DAMAGE AND CLASHING WITH SURFACE ROOTS

6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

SHRUBS AND HEDGES



Botanical Name: Banksia spinulosa 'Birthday Candles' Common Name: Banksia Birthday Candles (Native)

200mm Pot size: **Mature H x S:** 0.6m x 0.9m Qty Required:

ACCENT PLANTS



Botanical Name: Russelia equisetiformis Common Name: Firecracker (Exotic) Pot size: **Mature H x S:** 1m x 1.2m

Botanical Name: Asplenium australasicum Pot size:

Common Name: Birds Nest Fern (Native) **Mature H x S:** 1m x 1.4m Qty Required: 12

Qty Required:

Botanical Name: Philodendron 'Xanadu'

Common Name: Xanadu Plant (Exotic) 200mm **Mature H x S:** 0.7m x 0.7m Qty Required: 16

GRASSES + GROUNDCOVERS



Botanical Name: Dichondra argentea 'Silver Falls' Common Name: Silver Falls Dichondra (Exotic) Pot size: Mature H x S: 0.15m x spreading Qty Required: 9/m2 (1.0m2 total)



Department of Planning, **Housing and Infrastructure**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 22/1307

Approved on: 14 November 2025 Signed: AW

Sheet No: 44 of 60



'FOR ADVANCED TREE PLANTING IN HIGH WIND AND ROOFTOP LOCATIONS, IT IS RECOMMENDED THAT AN APPROVED ROOT BALL ANCHORING SYSTEM EQUAL TO 'PLATIPUS ANCHORS' SHALL BE USED. INSTALL AS PER THE MANUFACTURERS SPECIFICATION'

LANDSCAPE PLAN NOTES

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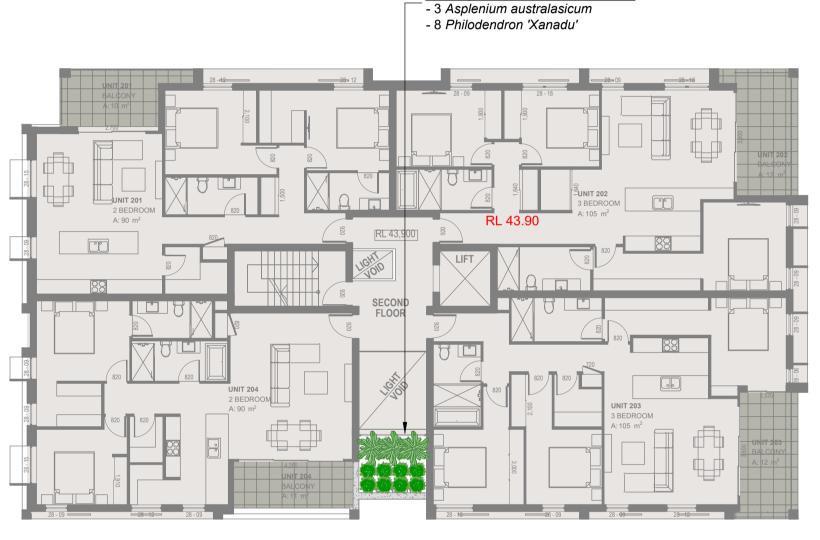
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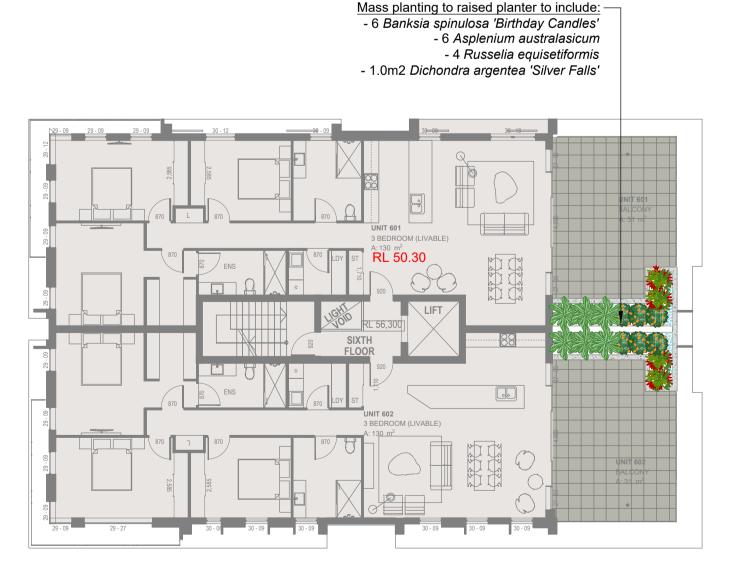


LEVEL 1 SCALE: 1:150



Planting to raised planter to include:

LEVEL 2 SCALE: 1:150



LEVEL 6 SCALE: 1:150



SCALE: 1:150



WEST ELEVATION SCALE: 1:150

GENERAL NOTE:

to change, alteration or amendment at the discretion of our office

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDPd plans may vary slightly in Scale for that indicated on plans. Report any whether special, consequential, direct or indirect, suffered by © Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT
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Phone: 9922 5312	
Mob: 0413 861 351	
www.conzept.net.au	
enquiries@conzept.net.au	

	COUNCIL	REV	DATE	NOTATION/AMENDMENT
CENTRAL COAST		Α	30.09.20	Preliminary plan prepared for review
		В	10.11.20	Coordinate with Hyd Eng's details
		С	12.07.21	Coordinate with architectural updates
	CLIENT	D	26.08.22	Updated architectural plans
SNZ HOLDINGS ATF ZERAFA FAMILY TRUST		E	13.05.24	Updated architectural plans
		F	11.06.24	For submission

G 26.11.24 Coordinated with Swept Path updates

PROJECT:
PROPOSED APARTMENT
DEVELOPMENT
53-55 DONNISON STREET
WEST GOSFORD

TITLE:		STATUS:	
LANDSCAPE PLAN		DEVELOPMENT APPLICATION	
		SCALE:	DATE:
		1:150 @ A1	NOV 2024
DWG.No:	PAGE NUMBER:	DRAWN:	CHECKED:
LPDA 21 - 087	3	R.HL.Z	R.F

LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE

RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT. 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.

4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS

6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

150mm

300mm

Common Name: 'Aldam's needle' (Exotic)

300mm

200mm

200mm

200mm

300mm

140mm

140mm

Mature H x S: 1.5m x 2m

Qty Required:

Botanical Name: Yucca filamentosa

Mature H x S: 1.5m x 0.9m

TREES



Botanical Name: Banksia serrata **Common Name:** Old Man Banksia (Native) Pot size: 45l t Mature H x S: 5m x 3m

Qty Required: 2 Pot size:

Botanical Name: Plumeria acutifolia Common Name: Frangipani (Exotic) Mature H x S: 5m x 4m

Qty Required:

SHRUBS AND HEDGES Botanical Name: Metrosideros 'Tahiti' Common Name: NZ Christmas Bush (Exotic)

Pot size:

Pot size:

Qty Required:

Mature H x S: 1m x 1m Qty Required: 3 Botanical Name: Alcantarea imperialis 'Rubra' **Common Name:** Ruby Imperial Bromeliad (Exotic) **Mature H x S:** 0.8m x 0.9m Qty Required: 6

Botanical Name: Correa alba **Common Name:** White Correa (Native) Pot size: **Mature H x S:** 1.5m x 1m Qty Required: 32 Botanical Name: Asplenium australasicum

Common Name: Birds Nest Fern (Native) Pot size: **Mature H x S:** 1m x 1.4m Qty Required: Botanical Name: Philodendron 'Xanadu' Common Name: Xanadu Plant (Exotic)

Mature H x S: 0.7m x 0.7m Qty Required: **Botanical Name:** Monstera deliciosa **Common Name:** Ceriman (Exotic)

GRASSES + GROUNDCOVERS Botanical Name: Myoporum parvifolium 'Yareena' **Common Name:** Creeping Boobialla (Native) Mature H x S: 0.15m x spreading Qty Required: 7/m2 (10m2 total)

Botanical Name: Casuarina glauca 'Cousin It' Common Name: Cousin It Casuarina (Native) **Mature H x S:** 0.1m x 1.5m Qty Required: 5/m2 (12.5m2 total) **Botanical Name:** Pennisetum alopecuroides

Common Name: Swamp Foxtail (Native) Mature H x S: 1m x 1m Qty Required:

COMMUNAL OPEN SPACE ROOFTOPS AND **TERRANCE PLANTERS GENERAL NOTE**

BCA & Australian Standards (AS):

Building codes and standards are established on a federal level by the nationally recognised Building Code of Australia (BCA), & these apply to all phases of construction, including balustrade design and specification. Specifically, BCA 2012 Parts 3.9.1 (stairs) and 3.9.2 (balustrades) and Australian Standard 1170.1 cover regulations for balustrades on stairways, balconies, rooftop terraces and other surfaces between

BCA Balustrade Regulations and Standards

A balustrade is defined as a rail and its balusters (posts or other supporting members). BCA regulations state that a balustrade must:

- Be at least 1 metre high as measured from the finished floor;
- Have openings between risers or posts no greater than 125mm; and
- Be able to withstand loads and impacts as determined by AS 1170.1

The height regulation of 1 metre ensures the balustrade is high enough to provide prevention against falling over the balustrade. The openings between risers or posts cannot be greater than 125mm to prevent children from falling between them. Load and impact regulations are designed to ensure balustrades can resist impact or will not collapse when pressure is applied to them from any direction.

Balustrade Safety & Planters

BCA regulations state that the balustrade must be 1 metre or more, higher than the finished floor. On roof-top terraces, planters & furniture are often incorporated in the landscape design. It's important for compliance and safety that these elements do not undermine the safety of Communal Open Space (COS) terraces and rooftops, and the compliance with the BCA and AS's are maintained.

Items to consider are:

- Where planters form the safety balustrade, their internal face must be 1m non-climbable
- Outdoor furniture such as tables, BBQs, and seating shall be fixed and located a minimum 1m away from balustrades
- Where furniture is proposed to be fixed or adjacent to COS terrace planters which form the balustrade, then a compliant handrail will be required to be fixed to the external edge of the planter

A concern for COS areas on rooftops or terrace areas is that the strata will add loose furniture which ultimately could undermine the safety of the installed balustrades. In this case, it shall be the strata bodies responsibility to manage the safety of these areas.

Ultimately, the compliance and safety of the COS areas shall be the responsibility of the builder, and carefully inspected and certified at the Occupation Certificate (OC) stage of the development

Maintenance of COS area

Communal Open Space terrace and rooftop areas are exposed to extremes (wind, sun, and extreme weather) so maintenance is important. The following item should be included or considered:

- All planters shall be structurally water-proofed, with this work certified and periodically inspected. Trades should be closely monitored so they do not subsequently damage completed waterproofing
- All planters shall be irrigated with an automated **system** set on an approved watering pattern. Moisture gauges should be installed in some planters to minimize overwatering
- **Tree Anchors** shall be installed in high wind areas to larger plants, such as palms & small trees
- Compliance for balustrades and handrails should be monitored regularly
- For the maintenance of large rooftop areas and planters without external balustrades, anchoring points for tying off harnesses for landscape maintenance workers are essential



For advanced tree planting in high wind and rooftop locations, it is recommended that an approved root ball anchoring system equal to 'Platipus Anchors' shall be used. Install as per the manufacturers specification'

ALLOW FOR STRAPS ANCHOR POINTS ON ROOF/BALCONY PLANTER WHERE IS NECESSARY **AS PER AS** 1891.4:2009 AND AS/NZS 5532:2013

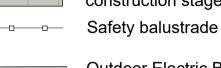
MATERIAL FINISHES



Artificial turf for children's play area

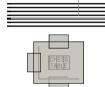


Non-slip paving to be confirmed at construction stage



Outdoor Electric BBQ to be nom. by

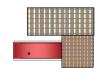
Proposed pergola by architect refer



Fixed outdoor furniture- Chess table refer architects' detail



Fixed outdoor furniture- Dining table refer architect's detail



Cubby house with slides to be nom. by client



Ladybug animal seats to be nom. by client



Starfish raised item to be nom. by





STARFISH Dimensions: 90cm x 90cm x 40cm Supplier: Playscape Creations Colour/finishes: to be nom. by client

SAMPLE IMAGES Images are diagrammatic only, and final planting species may

vary, as determined by Council





Mass planting to raised planter to include:

- 3 Asplenium australasicum

- 26 Philodendron 'Xanadu'

ROOF

SCALE: 1:100

- 7 Monstera deliciosa









External translucent balustrade may be

where moveable outdoor furniture and

items may undermine the compliance of

needed to meet BCA and AS compliance

internal planter walls, where these are

for balustrades and safety handrails

required to ensure safety of rooftop areas



Outdoor arrangements to be placed at

BCA Balustrade Regulations and

Standards

least 1 metre away from balustrade refer

Mass planting to raised planter to include:

- 5m2 Myoporum parvifolium 'Yareena'

- 5m2 Casuarina glauca 'Cousin It'

- 4 Alcantarea imperialis 'Rubra'

- 21 Pennisetum alopecuroides

- 1 Banksia serrata

- 15 Correa alba

RL 59.60

Mass planting to raised planter to include:

- 2 Plumeria acutifolia

- 17 Correa alba

- 3 Metrosideros 'Tahiti'

- 3 Yucca filamentosa

- 2 Alcantarea imperialis 'Rubra'

- 9 Pennisetum alopecuroides

- 5m2 Myoporum parvifolium 'Yareena'

- 7.5m2 Casuarina glauca 'Cousin It'

─ - 1 *Plumeria acutifolia*

- 1 Yucca filamentosa



Department of Planning,

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 22/1307

Approved on: 14 November 2025

Signed: AW

Sheet No: 45 of 60

Housing and Infrastructure



Proposed pergola by architect refer

Cubbyhouse with slides to be nom. by

Artificial turf on roof refer detail 5

Ladybug seat to be nom. by client

__ Fixed outdoor chess table refer

Fixed outdoor furniture refer architect's

architect's detail

AWNING



Yucca filamentosa

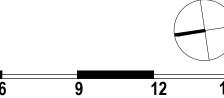
Figured dimensions take preference to scale readings. Verify all dimensions on If so, Conzept is not liable for any loss, damage, harm or injury. site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any whether special, consequential, direct or indirect, suffered by repancies to the Landscape Architect before proceeding with the work. you or any other person as a result of your use of this drawin © Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT for construction purposes. (ABN: 75 623 405 630) 3 4U5 63U) acted by copyright. All rights are reserved. Unless permitted
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AILA Associate











Banksia serrata





Plumeria acutifolia

	COUNCIL	REV	DATE	NOTATION/AMENDMENT
Miller Street, NSW 2062	CENTRAL COAST	Α	30.09.20	Preliminary plan prepared for review
	32	В	10.11.20	Coordinate with Hyd Eng's details
		С	12.07.21	Coordinate with architectural updates
5312 51 351	CLIENT	D	26.08.22	Updated architectural plans
.net.au	SNZ HOLDINGS ATF ZERAFA FAMILY TRUST	E	13.05.24	Updated architectural plans
onzept.net.au		F	11.06.24	For submission
		G	26 11 24	Coordinated with Swent Path undates

PROPOSED APARTMENT DEVELOPMENT 53-55 DONNISON STREET WEST GOSFORD

LANDSCAPE PLAN-ROOF		DEVELOPMENT APPLICATION		
		scale: 1:100 @ A1	DATE: NOV 2024	
DWG.No:	PAGE NUMBER:	DRAWN:	CHECKED:	
LPDA 21 - 087	4	R.HL.Z	R.F	

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

- The landscape plans should be read in conjunction with the architectural plans, project arborist's assessment hydraulic plans, service plans and survey prepared for the proposed development. All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the
- instruction of the landscape architect. Installation of conduit for required irrigation, electrical and other services shall be completed prior to the
- commencement of hardscape works and hardstand pours All outdoor lighting specified by architect or client to be installed by qualified electriciar
- Anomalies that occur in these plans should be brought to our immediate attention.
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES Existing trees identified to be retained shall be done in accordance with (AS)4970-Protection of trees on development

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to

sites as well as in accordance with the tree protection measures prepared by project arborist

oversee such works and manage tree health Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

the root zone of existing trees to be retained.

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site. - Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on
- site by the landscape architect. - Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks,

rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out

2.02 INSTALLATION (TO GARDEN OUTSIDE OF TREE PROTECTION ZONES OF TREES RECOMMENDED TO BY Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

All testing is to be conducted in accordance with AS 1289 Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall

Note that a soil test conducted by the "Sydney Soil Lab" or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of

be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services

c) Establishing Subgrade Levels outside of tree protection zones of trees to be retained Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil

conditioner). The following subgrade levels shall apply: Mass Planting Beds - 300mm below existing levels with specified imported soil mix

Turf areas - 100mm below finished surface level. Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to

e) Drainage Works Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to

outlets provided, with a minimum fall of 1:100 to outlets and / or service pits

and good growing medium in preparation for planting.

f) Placement and Preparation of Specified Soil Conditioner & Mixes. Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with

50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth

Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm. Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for

planting and turfing. PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

Below - Ground Assessment

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2018 'TREE STOCK FOR LANDSCAPE USE' Certification that trees have been grown to AS 2303:2018 is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed: Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot. good stem structure

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation

and description of these assessment criteria, refer to Ross Clark's book. All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted,

listed above.

straight hardwood, free of knots and pointed at one end. They shall be 1800mm x 50mm x 50mm Hardwood timber, or as per council specification where is available. Ties shall be 50mm wide hessian webbing material

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch Mulch for general planter bed shall be an approved equal to "EUCY" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm screenings or similar.

Turf for project site shall be soft leaf Buffalo or Zoysia macrantha 'Nana' or equivalent unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition. Re-turfing to nature strip where is required shall use species that match existing on street.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to

b) Planting All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

Mulch for general planter bed shall be an approved equal to "EUCY" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, scoria or river pebbles, 4-7mm screenings or similar.

surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation. f) Steel edging

Where is required, the Contractor shall install steel edging as detailed on the drawings, to all mass planting beds

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent

adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

g) Earth retaining structure All walls which form part of drainage works must be built as detailed by the hydraulic engineer. All walls exceeding

800mm shall be of not timber construction materials, construction details to be provided by a qualified engineer. Install

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed by manufacturers specification.

Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands

Division on (02) 8836 5332. **IRRIGATION WORKS**

5.01 GENERAL (PERFORMANCE SPECIFICATION)

wall to suit site levels and to manufacture's specification.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 1995, & the latest Sydney Water Code

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigatior system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas. - It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting

- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off. - The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available. - All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in

position at 500mm centres with galv wire pins. - Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than

Services Co-ordination - Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and

penetration through slabs and planter walls for water and power provisions - The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations. - Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time - Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not

exceed 300Kpa. - All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

- A full 12 month warranty shall be included to cover labour and all parts.

CONSOLIDATION AND MAINTENANCE

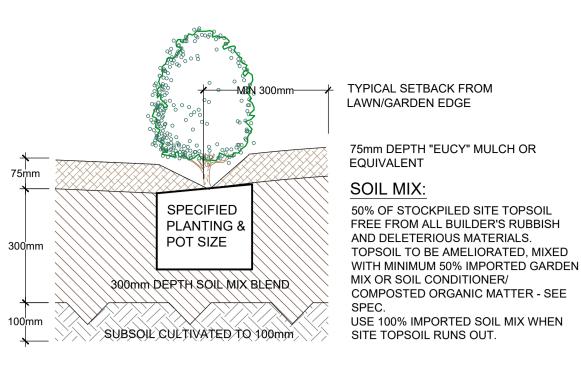
- On request, a detailed irrigation performance specification report can be issued.

6.01 GENERAL

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

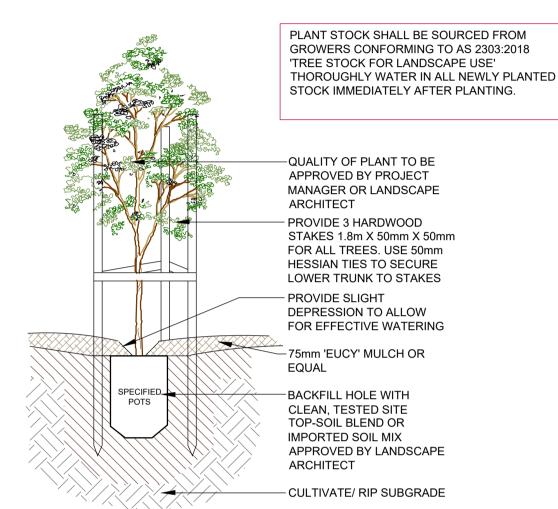
- This shall include, but not be limited to, the following items where and as required:
- Watering all planting and lawn areas / irrigation maintenance. Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance. • Replacement of damaged, stolen or unhealthy plants.
- · Make good areas of soil subsidence or erosion. Topping up of mulched areas.
- Spray / treatment for Insect and disease control. · Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter Adjusting ties to Stakes
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.



1 TYPICAL GARDEN PREPARATION DETAIL

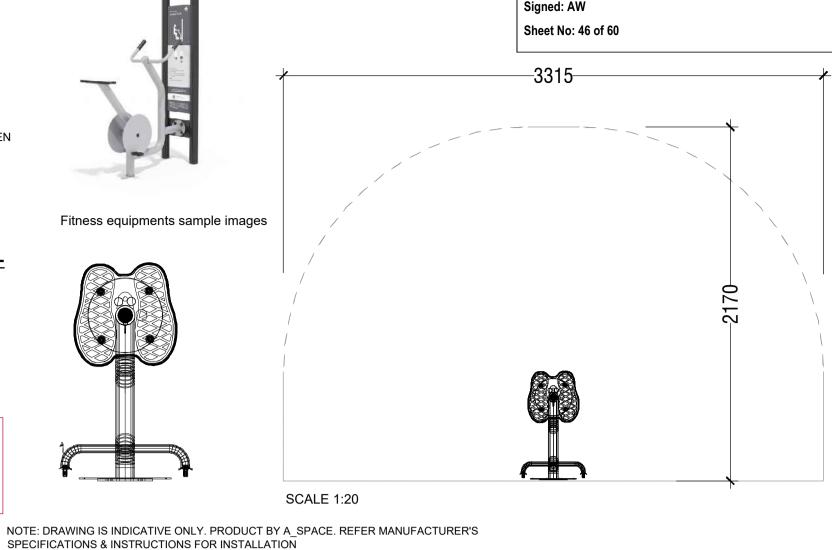
(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



4 TREE PLANTING DETAIL

SCALE: 1:10

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



Department of Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 22/1307

Approved on: 14 November 2025

Housing and Infrastructure

2 FITNESS EQUIPMENT TYPICAL DETAIL

SCALE 1:10

ALL SURFACING DEVELOPMENT SYNTHETIC TURF AS SELECTED BY CLIENT. NOTE: TYPICAL TO COMPLY WITH AS 4685.0:2017 (OR CURRENT DETAIL PROVIDED. INSTALL TURF AS PER MANUFACTURERS SPEC. VERSION). - TURF BACKING - INFILL WITH FINE DRY SAND AT SPONGE LAYER



(TO SUPPLIER'S

NOTE (BCA COMPLIANCE). WHERE NO EXTERNAL BALUSTRADE IS

PROPOSED. THE INTERNAL PLANTER WALL FACE MUST BE NON-CLIMBABLE TO A HEIGHT TO MEET AS & BCA COMPLIANCE.

PROOFING)

HYDRAULIC ENGINEER TO WORK WITH STRUCTURAL DESIGN AND LANDSCAPE. THE WATERPROOFING, APPROVED DRAINAGE CELL AND SPECIFIED GEOFABRIC

LAYER IN THIS DETAIL ARE INDICATIVE ONLY AND SHOULD BE DETAILED BY THE RELEVANT PROFESSIONAL ENGINEER 'FOR CONSTRUCTION'.

ADJACENT SURFACE NOTE: TYPICAL DETAIL ONLY, ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC **FOOTING TO** ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT ENG. DETAIL SHALL BE DETAILED BY A QUALIFIED ENGINEER. NSTALL WALL TO SUIT SITE LEVELS AND TO 3 TYPICAL IN SITU RETAINING WALL DETAIL **SCALE 1:10** -STAGGERED PLANTING TO SPECIFIED **DENSITIES AS SHOWN**

/ 150 /

REFER GARDEN BED PREPARAJ

PLANTS AS PER

SCHEDULE

6 MASS PLANTING SETOUT

-PLANTER WIDTH AS SPEC.

N.T.S

20mm CHAMFER TO

OF WALL

FACES

LENGTH OF FRONT EDGE

SMOOTH FINISH TO ALL

WATERPROOF MEMBRANE

TO INSIDE OF WALLS &

- 30mm APPROVED CORE

FLUTE / DRAINAGE CELL TO

- FILTER FABRIC TO COVER CORE

FLUTE. ENSURE FABRIC IS TUCKED

MINIMUM 100mm BETWEEN CORE

APPROVED & CERTIFIED

MIN. HEIGHT TO COMPLY

WITH BCA/NCC PART 3.9.2

+ AUSTRALIAN STANDARDS

REQUIRED

FOR SAFETY

EXPOSED CONCRETE

APPLY WELDED

FLUTE AND WALL.

TRENCH

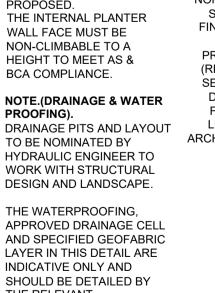
INSTALL 100mm AG, LINE

STEEL REINFORCING

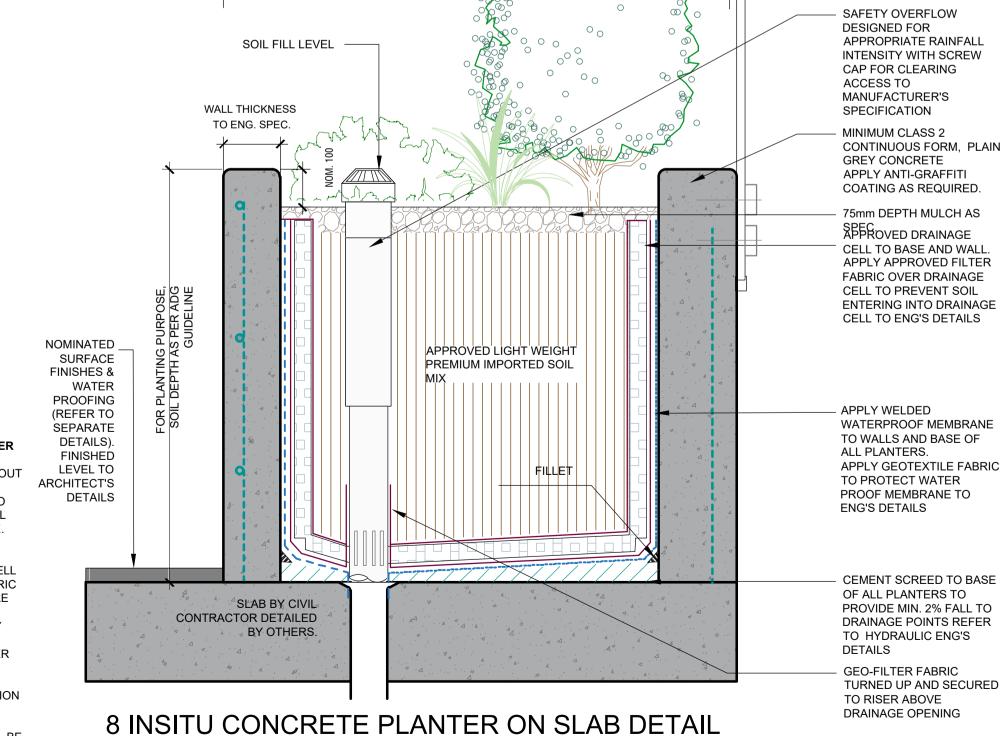
TO BASE OF BLUE METAL

SOFT FALL UNDERLAY TO 6KG PER 1M² **COMPLY WITH THE OPERATORS REQUIREMENTS** AND IN COMPLIANCE WITH AS OR BCA FALL HEIGHTS. ARTIFICIAL TURF UNDERLAY TO COMPLY WITH THE **OPERATORS REQUIREMENTS** AND IN COMPLIANCE WITH AS SUBBASE OR BCA FALL HEIGHTS. 5 TYPICAL ARTIFICIAL TURF DETAIL SCALE: 1:10





UNDER THE CONSTRUCTION PRACTITIONER BILL, STRUCTURAL WATER-PROOFING SHALL BE DOCUMENTED BY A HYDRAULIC ENGINEER



7 ODYSSEY PICNIC SETTING BY CSA - PRODUCT **CODE: TM4170 SCALE 1:20**

NOTE: DRAWING IS INDICATIVE ONLY. PRODUCT BY COMMERCIAL SYSTEMS AUSTRALIA. REFER

MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR INSTALLATION



DARK GREY POWDERCOATED MILD

-ENVIROSLAT RECYCLED BATTENS

ENVIROSLAT WOODGRAIN

BOLT-DOWN FIXING

STEEL FRAME

Suit 101, 506 Miller Stree CAMMERAY NSW 2062 Phone: 9922 5312 Mob: 0413 861 351 ww.conzept.net.au enquiries@conzept.net.au

CENTRAL COAST SNZ HOLDINGS ATF ZERAFA FAMILY TRUST

REV DATE NOTATION/AMENDMENT A 30.09.20 Preliminary plan prepared for review B 10.11.20 Coordinate with Hyd Eng's details C 12.07.21 Coordinate with architectural updates D 26.08.22 Updated architectural plans E 13.05.24 Updated architectural plans F 11.06.24 For submission G 26.11.24 Coordinated with Swept Path updates

PROPOSED APARTMENT **DEVELOPMENT** 53-55 DONNISON STREET WEST GOSFORD

SCALE: 1:10

SPECIFICATION & DETAILS DEVELOPMENT APPLICATION AS SHOWN @ A1 NOV 2024 R.F R.HL.Z LPDA 21 - 087

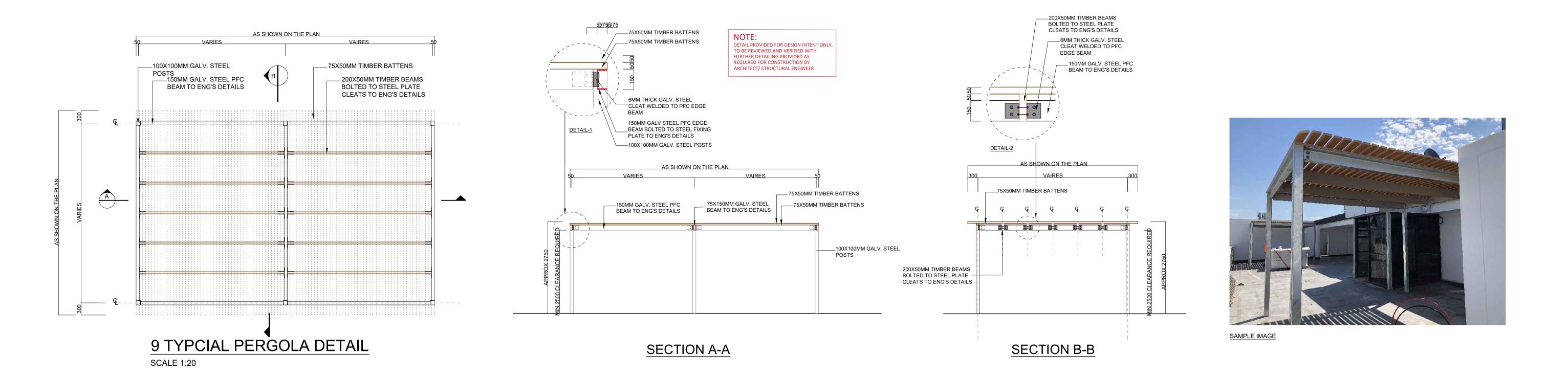
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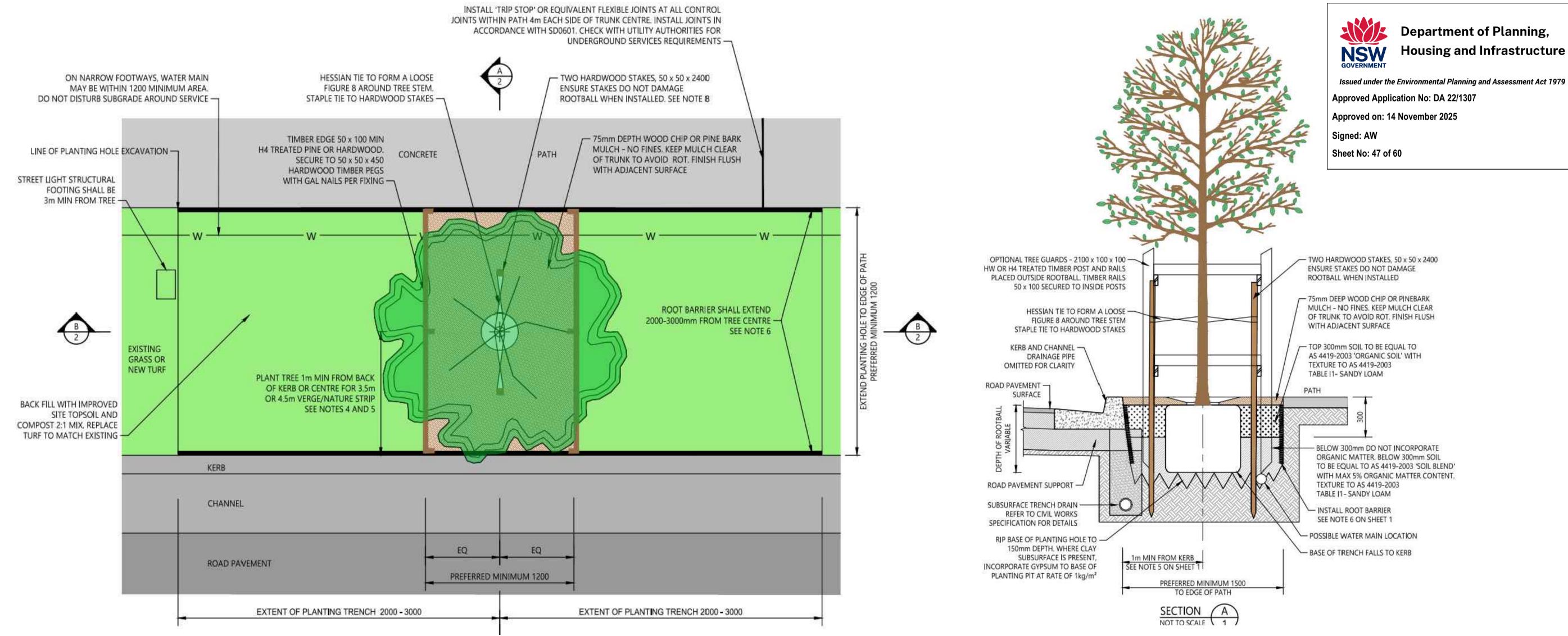
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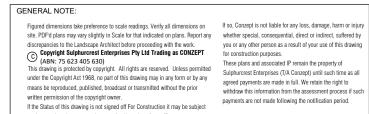






10 TYPICAL STREET TREE PLANTING DETAIL

By Central Coast Council's Standard Drawing- SD1001 Typical Street Tree With Path.



payments are not made following the notification period.





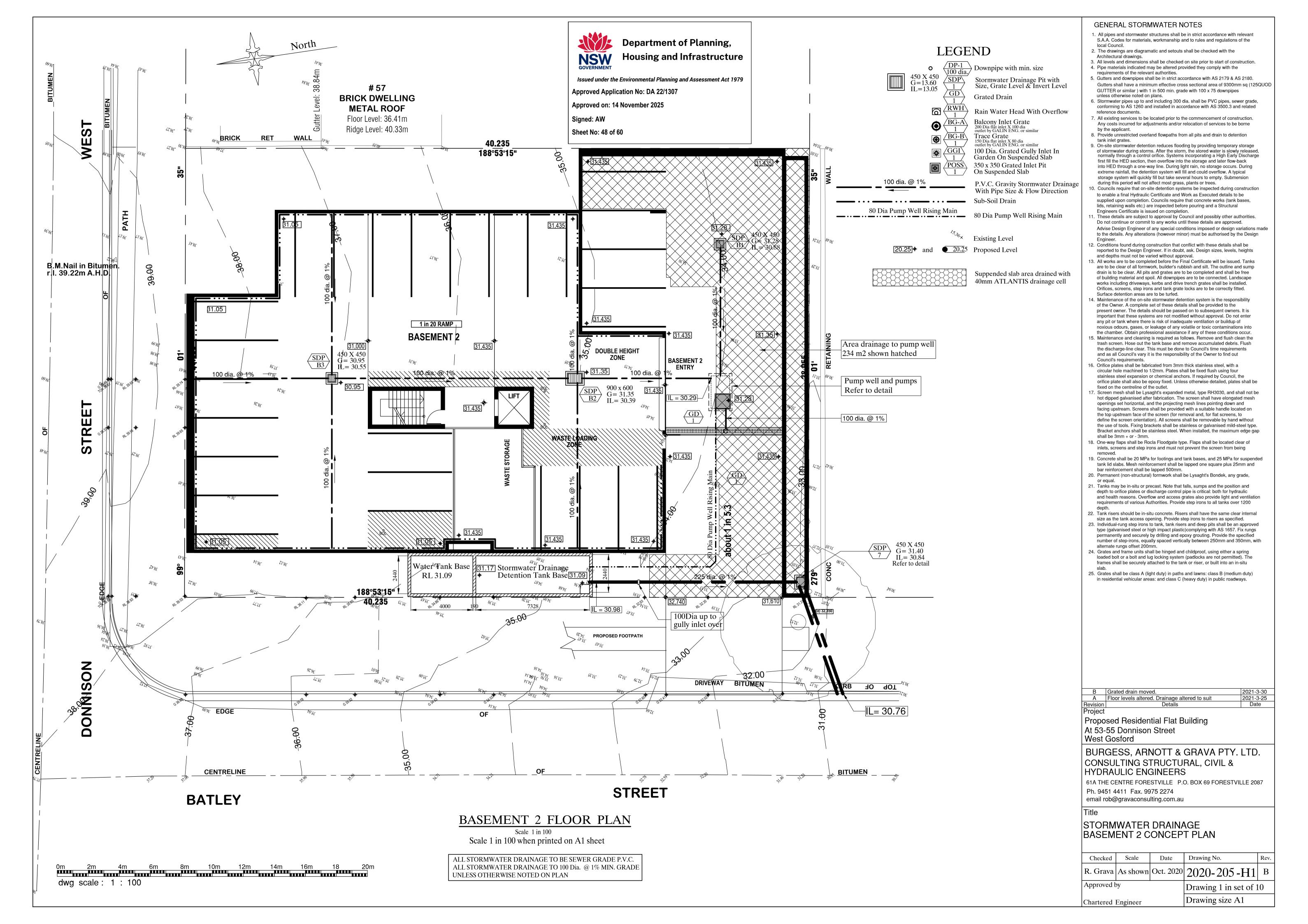


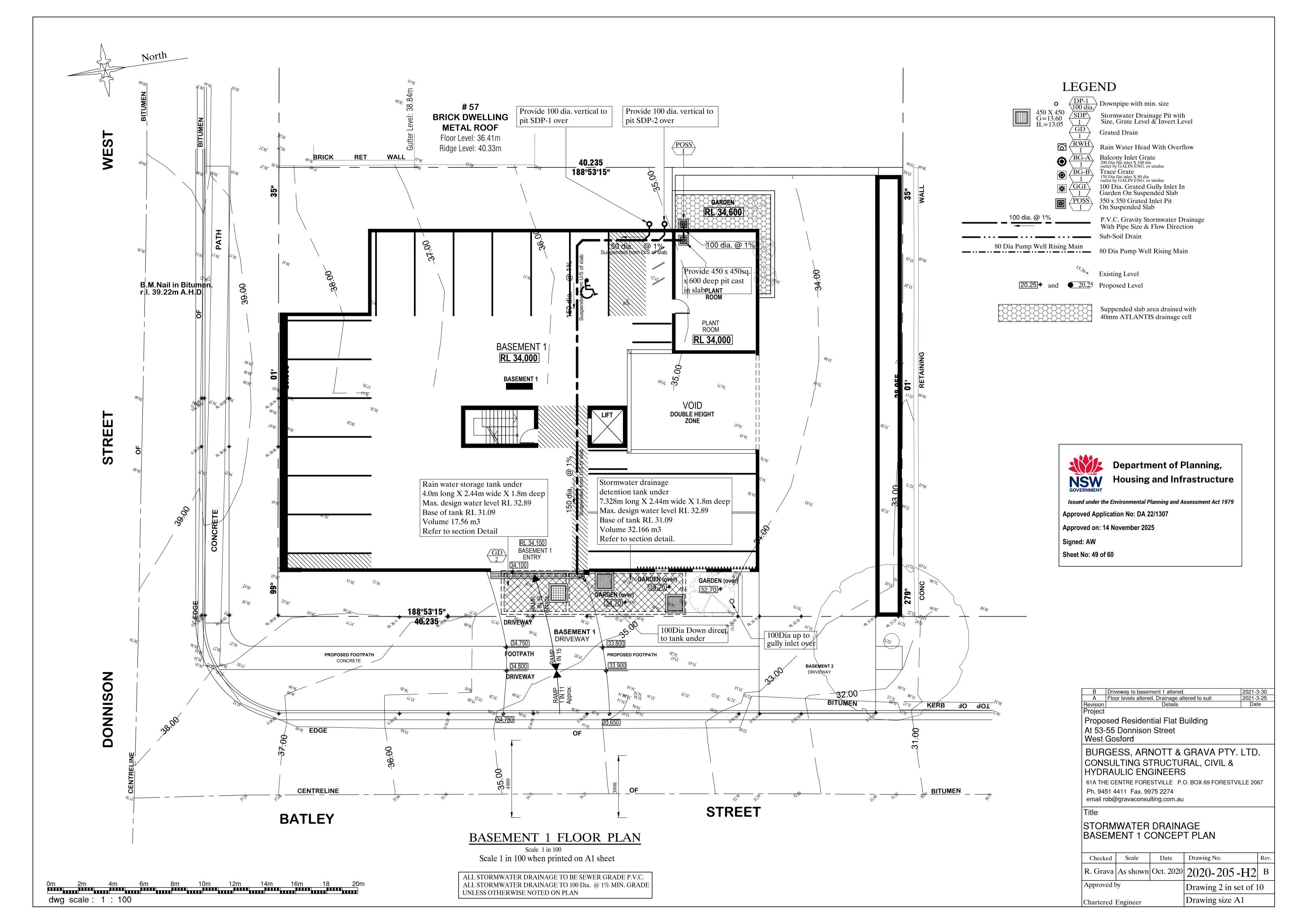
T:		С
	Suit 101, 506 Miller Street, CAMMERAY NSW 2062	С
	Phone: 9922 5312 Mob: 0413 861 351	С
	www.conzept.net.au enquiries@conzept.net.au	z

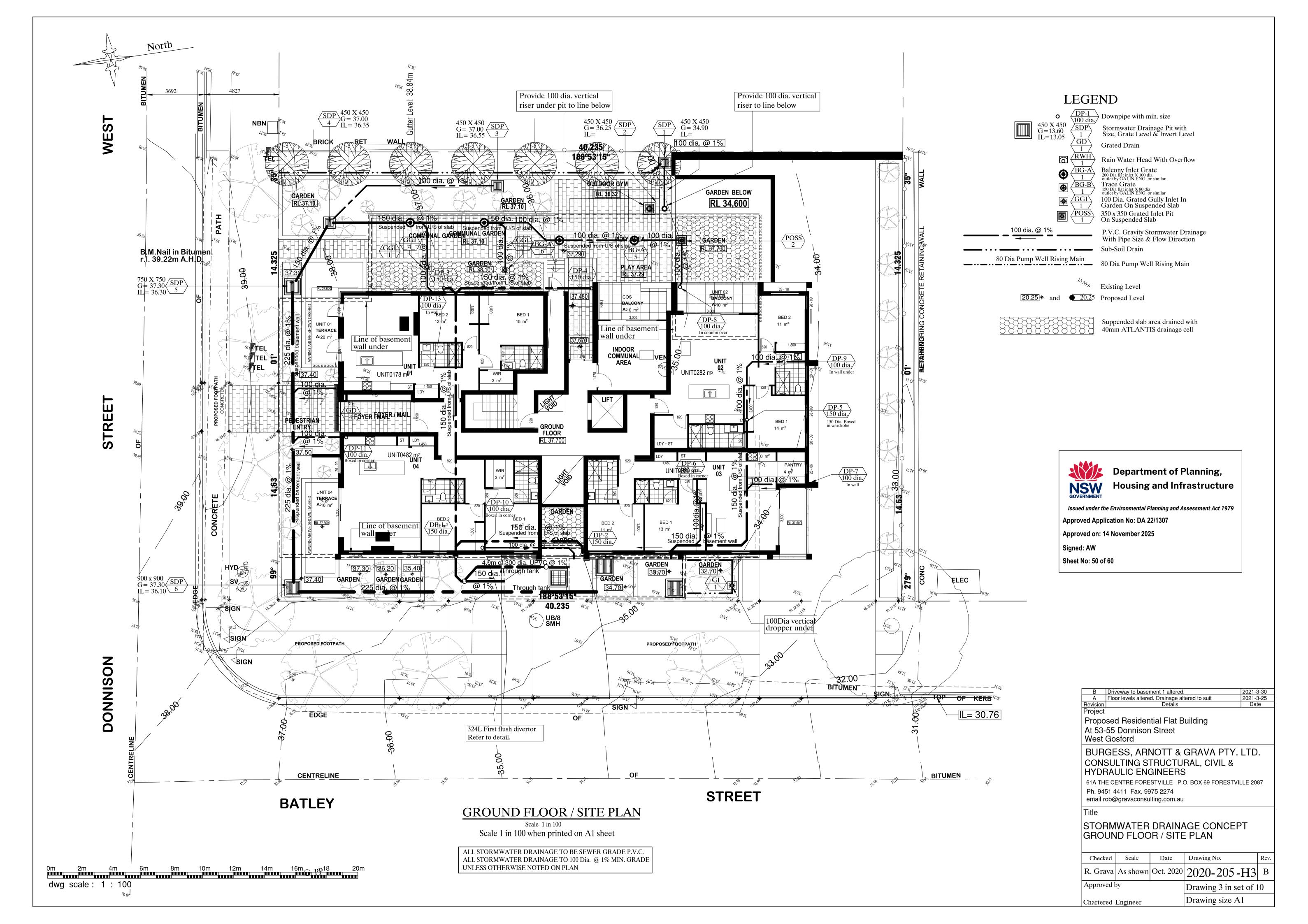
COUNCIL	REV	DATE	NOTATION/AMENDMENT	PROJE
CENTRAL COAST	Α	30.09.20	Preliminary plan prepared for review	
	В	10.11.20	Coordinate with Hyd Eng's details	<u> </u>
	С	12.07.21	Coordinate with architectural updates	
CLIENT	D	26.08.22	Updated architectural plans	
SNZ HOLDINGS ATF	E	13.05.24	Updated architectural plans	5
ZERAFA FAMILY TRUST	F	11.06.24	For submission	\ \
	G	26.11.24	Coordinated with Swept Path updates	V
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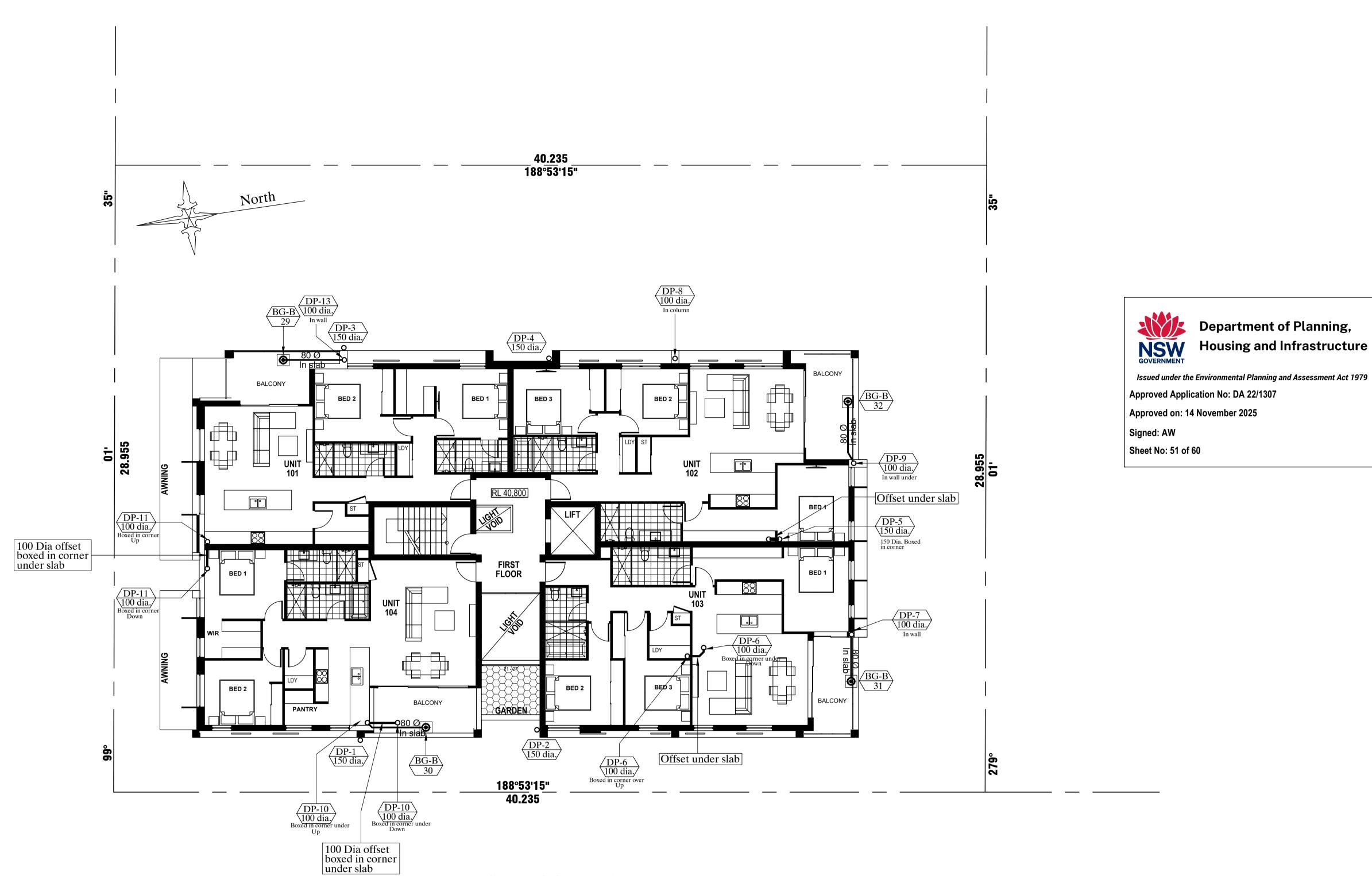
••	٠
ROPOSED APARTMENT	
EVELOPMENT	
3-55 DONNISON STREET	DWG
/EST GOSFORD	

IIILE: 		STATUS:		
DETAILS 2		DEVELOPMENT APPLICATION		
		SCALE:	DATE:	
		AS SHOWN @ A1	NOV 2024	
DWG.No:	PAGE NUMBER:	DRAWN:	CHECKED:	
LPDA 21 - 087	6	R.HL.Z	R.F	









FIRST FLOOR PLAN Scale 1 in 100

Scale 1 in 100 when printed on A1 sheet

Proposed Residential Flat Building At 53-55 Donnison Street West Gosford

BURGESS, ARNOTT & GRAVA PTY. LTD. CONSULTING STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS

61A THE CENTRE FORESTVILLE P.O. BOX 69 FORESTVILLE 2087 Ph. 9451 4411 Fax. 9975 2274 email rob@gravaconsulting.com.au

Department of Planning,

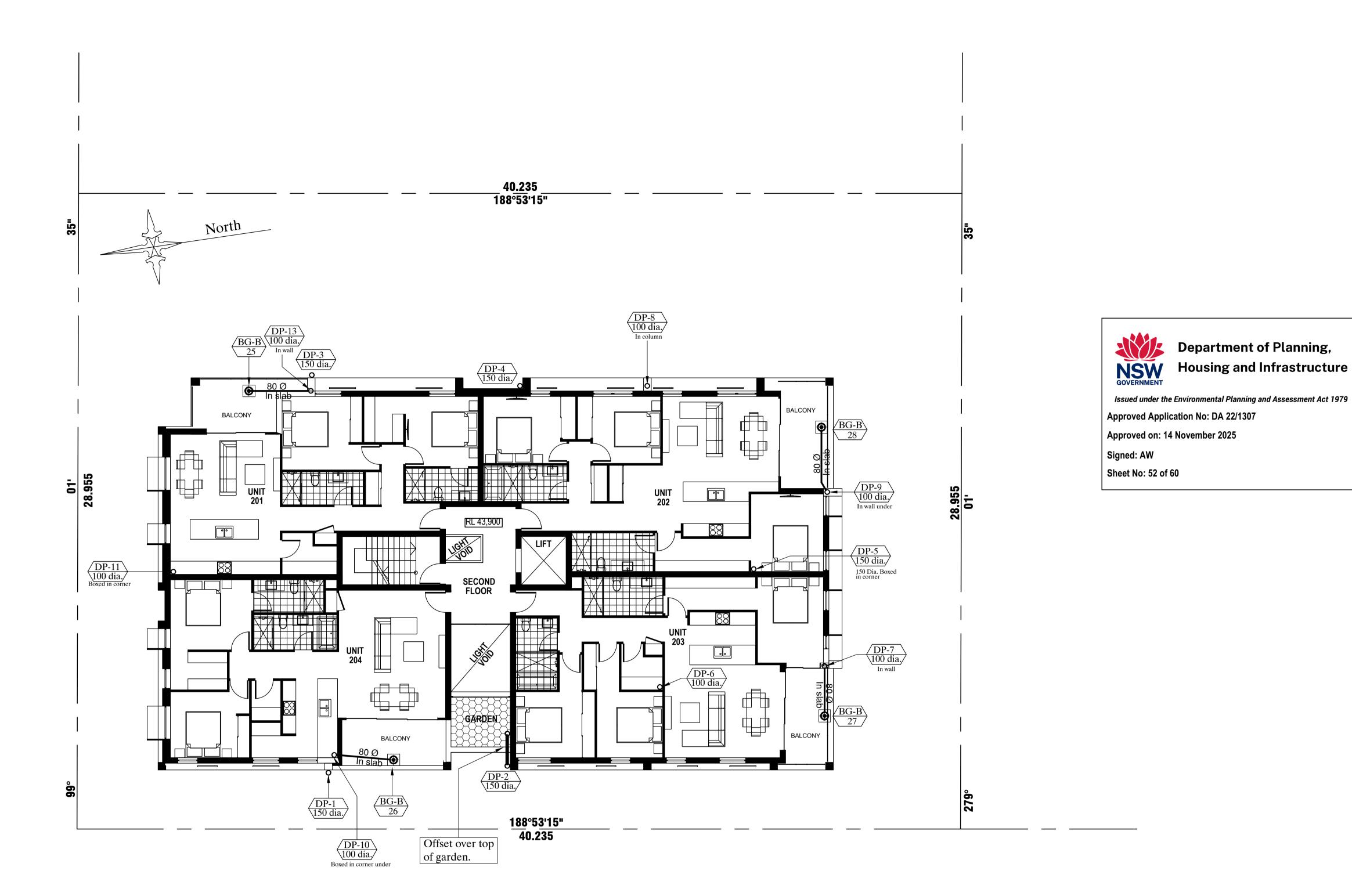
Housing and Infrastructure

STORMWATER DRAINAGE CONCEPT FIRST FLOOR PLAN

Checked	Scale	Date	Drawing No.	Rev.
R. Grava	As shown	Oct. 2020	2020-000-H4	0
Approved b	ру		Drawing 4 in set of 1	0
Chartered	Engineer		Drawing size A1	

0m 2m 4m 6m 8m 10m 12m 14m 16m 18 20m

dwg scale: 1:100



SECOND FLOOR PLAN

Scale 1 in 100

Scale 1 in 100 when printed on A1 sheet

Revision Details Date
Project

Proposed Residential Flat Building At 53-55 Donnison Street West Gosford

BURGESS, ARNOTT & GRAVA PTY. LTD. CONSULTING STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS

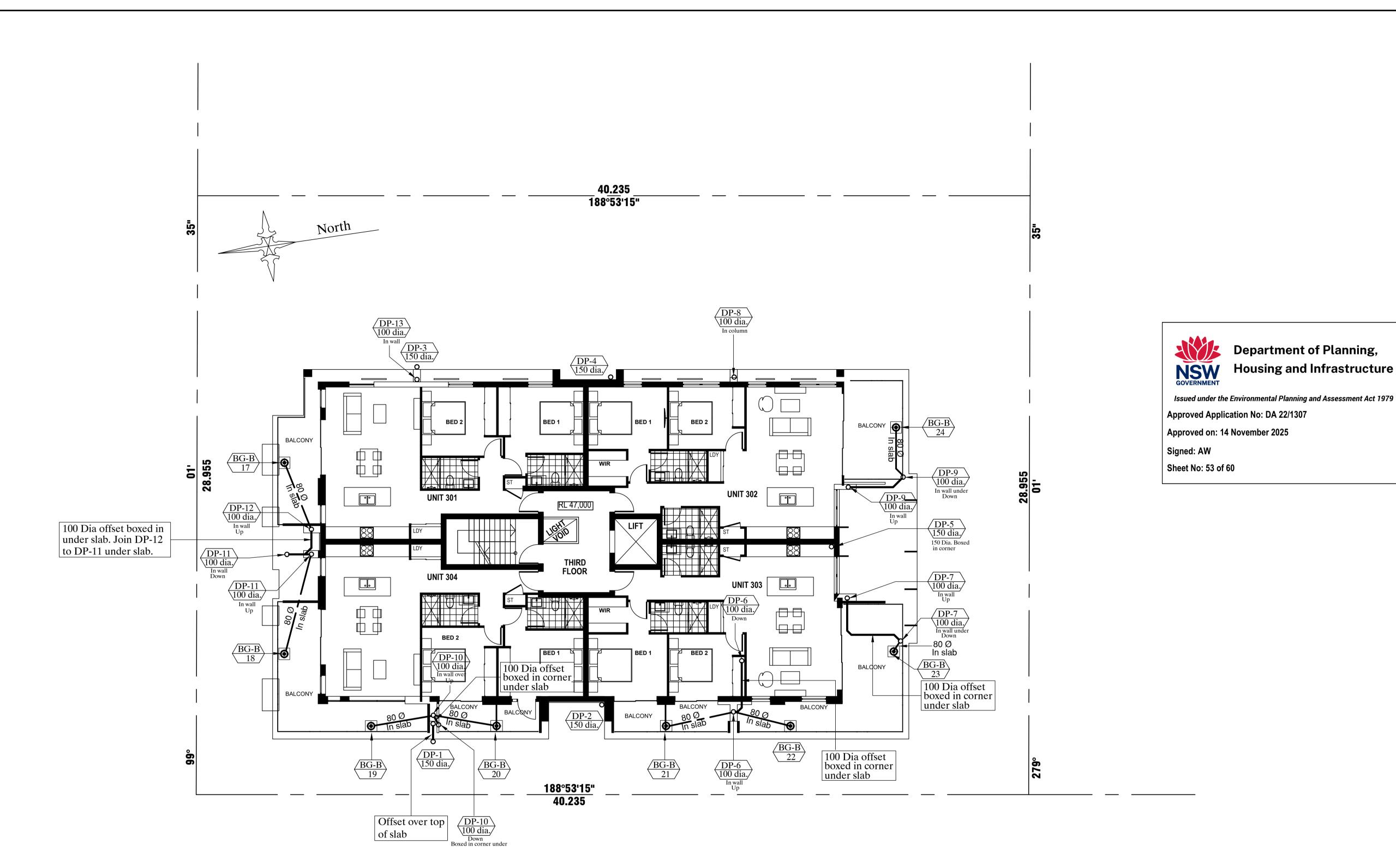
61A THE CENTRE FORESTVILLE P.O. BOX 69 FORESTVILLE 2087 Ph. 9451 4411 Fax. 9975 2274 email rob@gravaconsulting.com.au

Title

STORMWATER DRAINAGE CONCEPT SECOND FLOOR PLAN

Checked	Scale	Date	Drawing No.	Rev.
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Approved b	ру		Drawing 5 in set of 1	0
Chartered	Engineer		Drawing size A1	

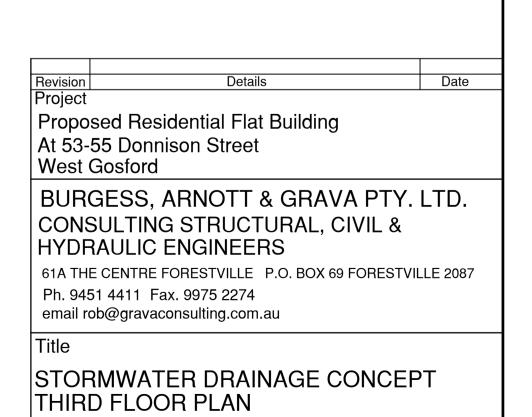
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THIRD FLOOR PLAN

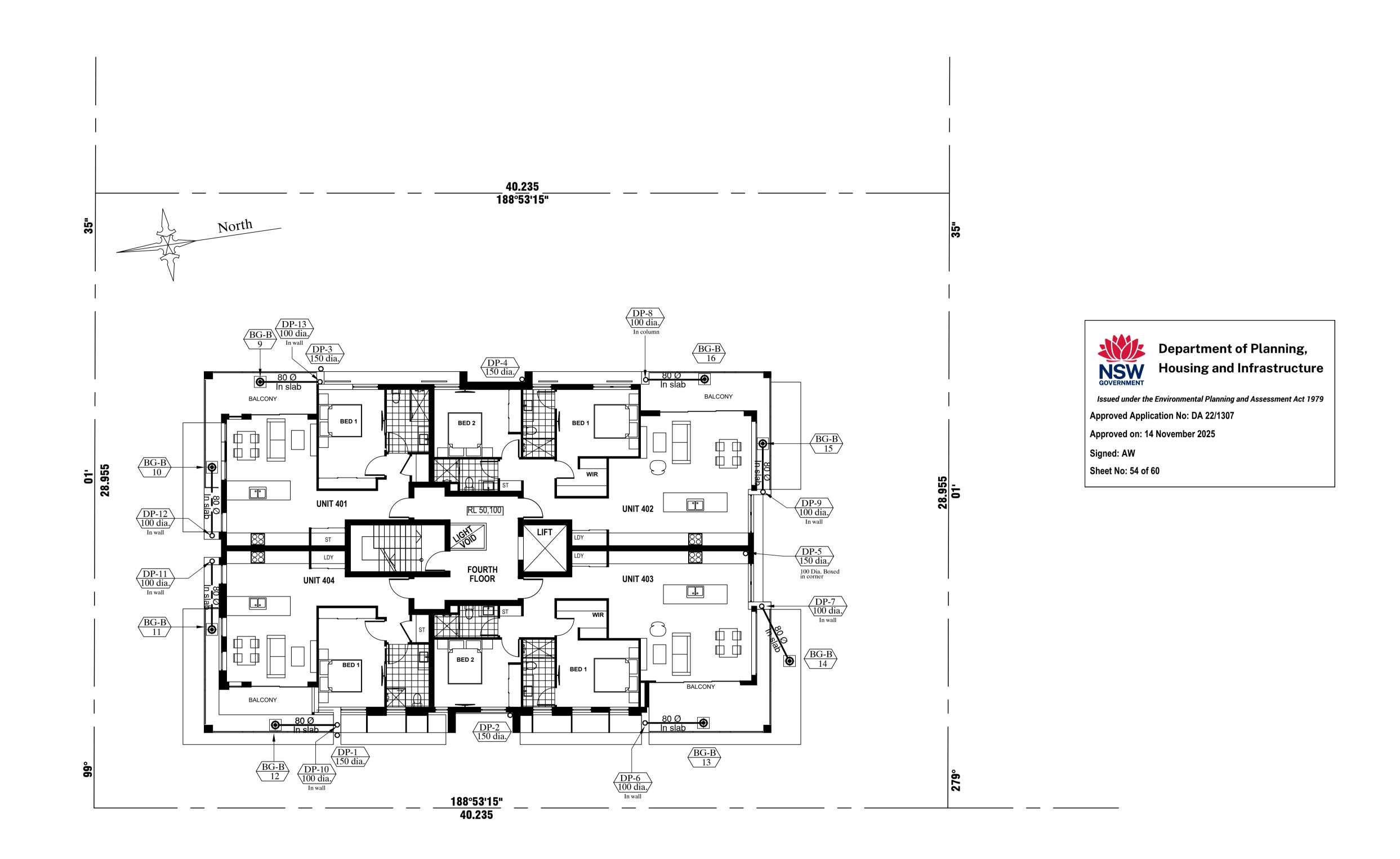
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Scale 1 in 100 when printed on A1 sheet



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Approved b	ру		Drawing 6 in set of 1	0
Chartered 1	Engineer		Drawing size A1	

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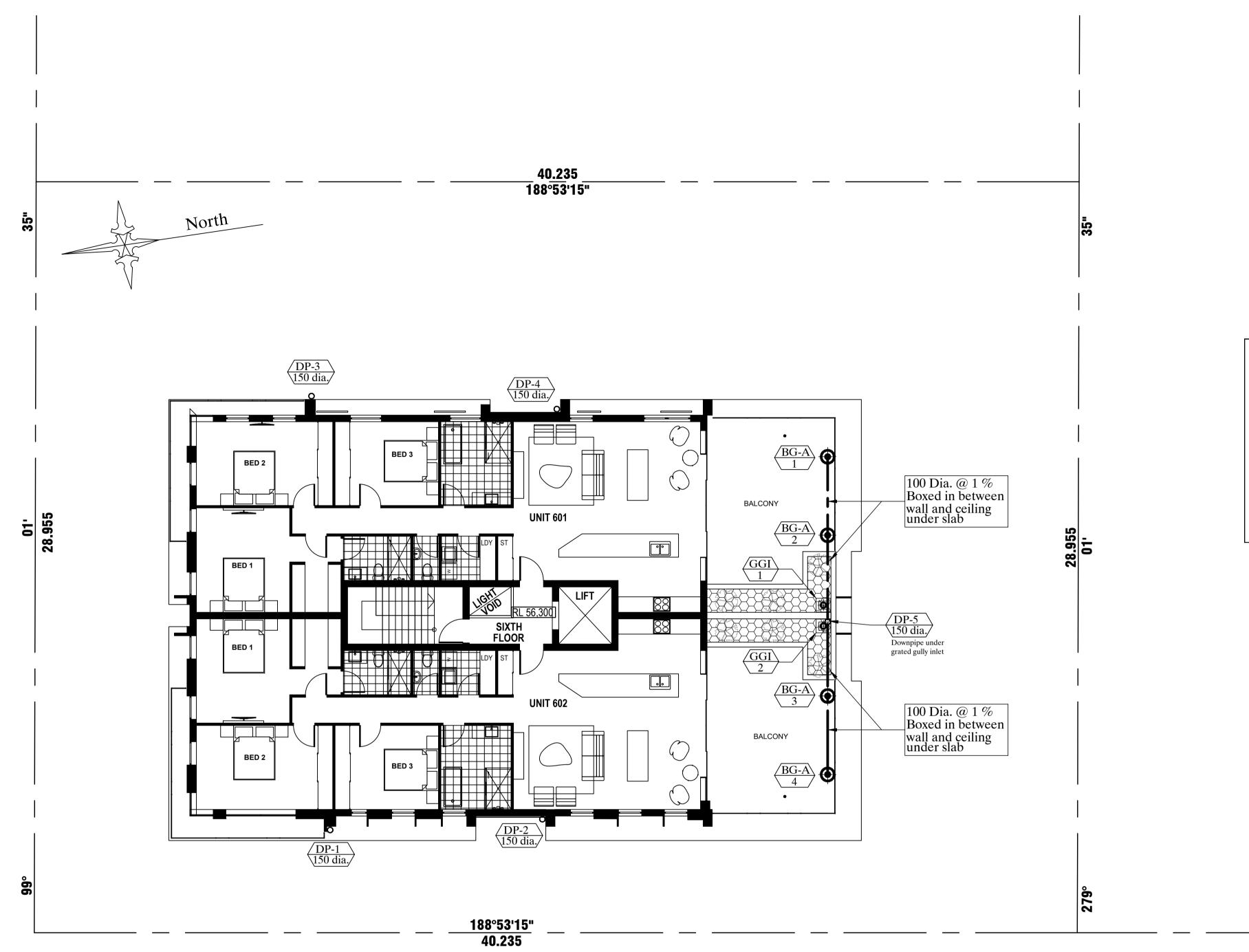


FORTH FLOOR PLAN

Scale 1 in 100
Scale 1 in 100 when printed on A1 sheet

FIFTH FLOOR PLAN SIMILAR

Approved by Drawing 7 in set of	Revision		Details	Da	ιtο		
At 53-55 Donnison Street West Gosford BURGESS, ARNOTT & GRAVA PTY. LTE CONSULTING STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS 61A THE CENTRE FORESTVILLE P.O. BOX 69 FORESTVILLE 20 Ph. 9451 4411 Fax. 9975 2274 email rob@gravaconsulting.com.au Title STORMWATER DRAINAGE CONCEPT FORTH FLOOR PLAN FIFTH FLOOR PLAN SIMILAR Checked Scale Date Drawing No. R. Grava As shown Oct. 2020 2020-000-H7 Approved by Drawing 7 in set of	•						
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D	FORTH FIFTH I	FLOOR F Scale	PLAN PLAN SIN	MILAR Drawing No.	,		
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Department of Planning, NSW Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 22/1307

Approved on: 14 November 2025

Signed: AW

Sheet No: 55 of 60

SIXTH FLOOR PLAN

Scale 1 in 100

Scale 1 in 100 when printed on A1 sheet

Proposed Residential Flat Building At 53-55 Donnison Street West Gosford

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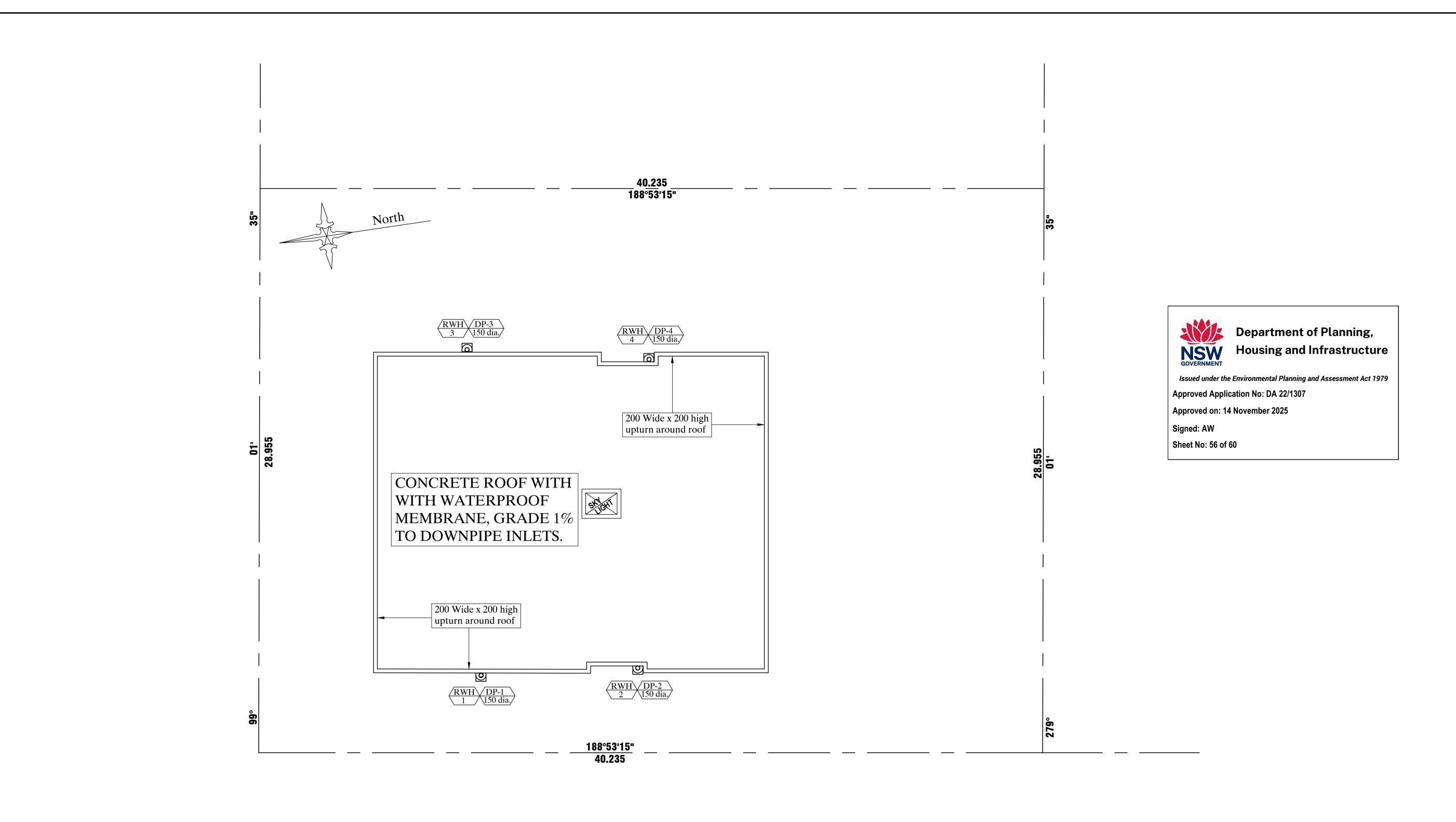
STORMWATER DRAINAGE CONCEPT SIXTH FLOOR PLAN

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Drawing size A1

Chartered Engineer

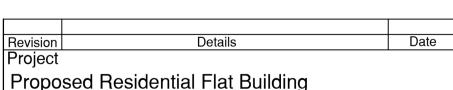
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ROOF PLAN

Scale 1 in 100

Scale 1 in 100 when printed on A1 sheet



Proposed Residential Flat Building At 53-55 Donnison Street West Gosford

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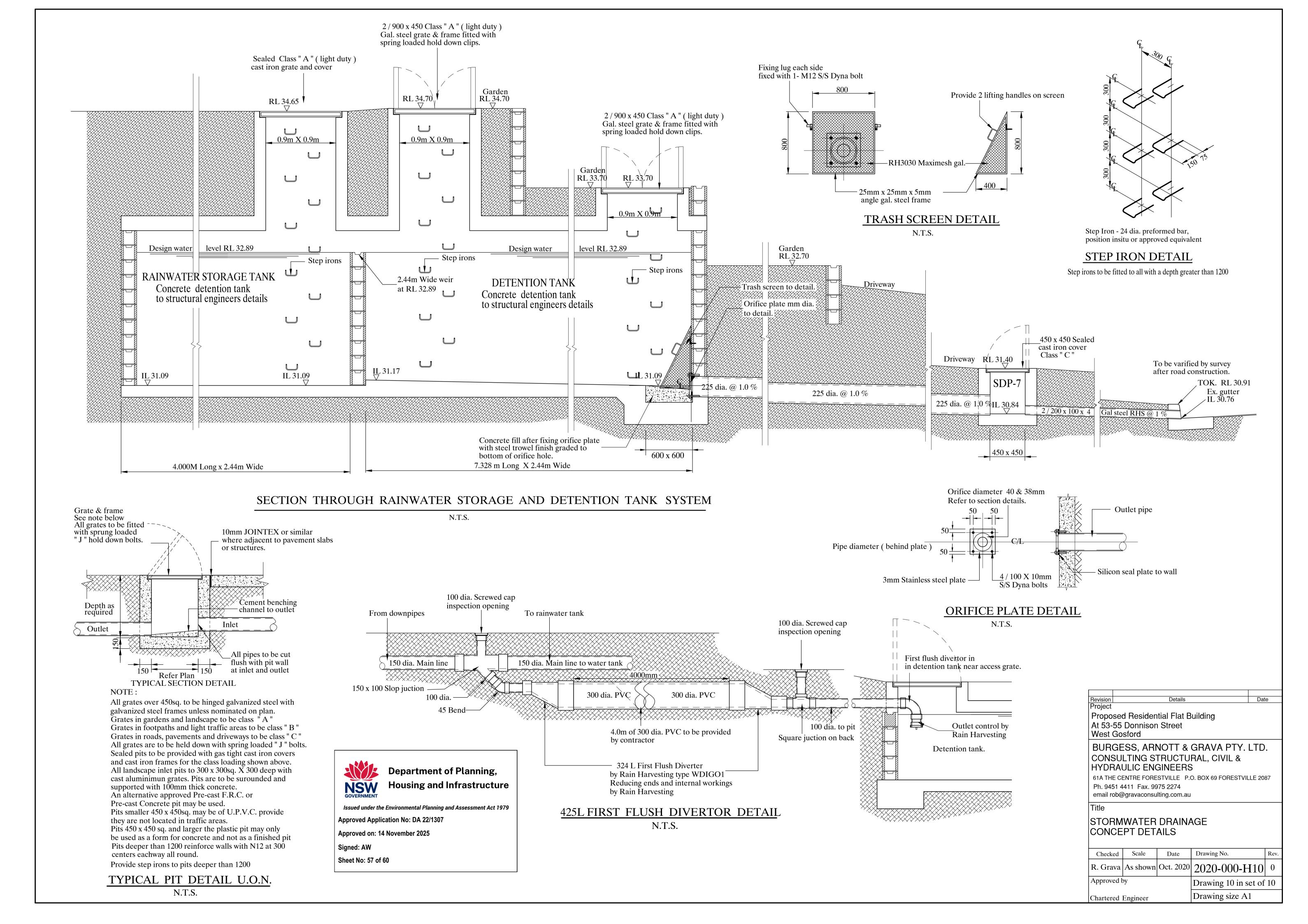
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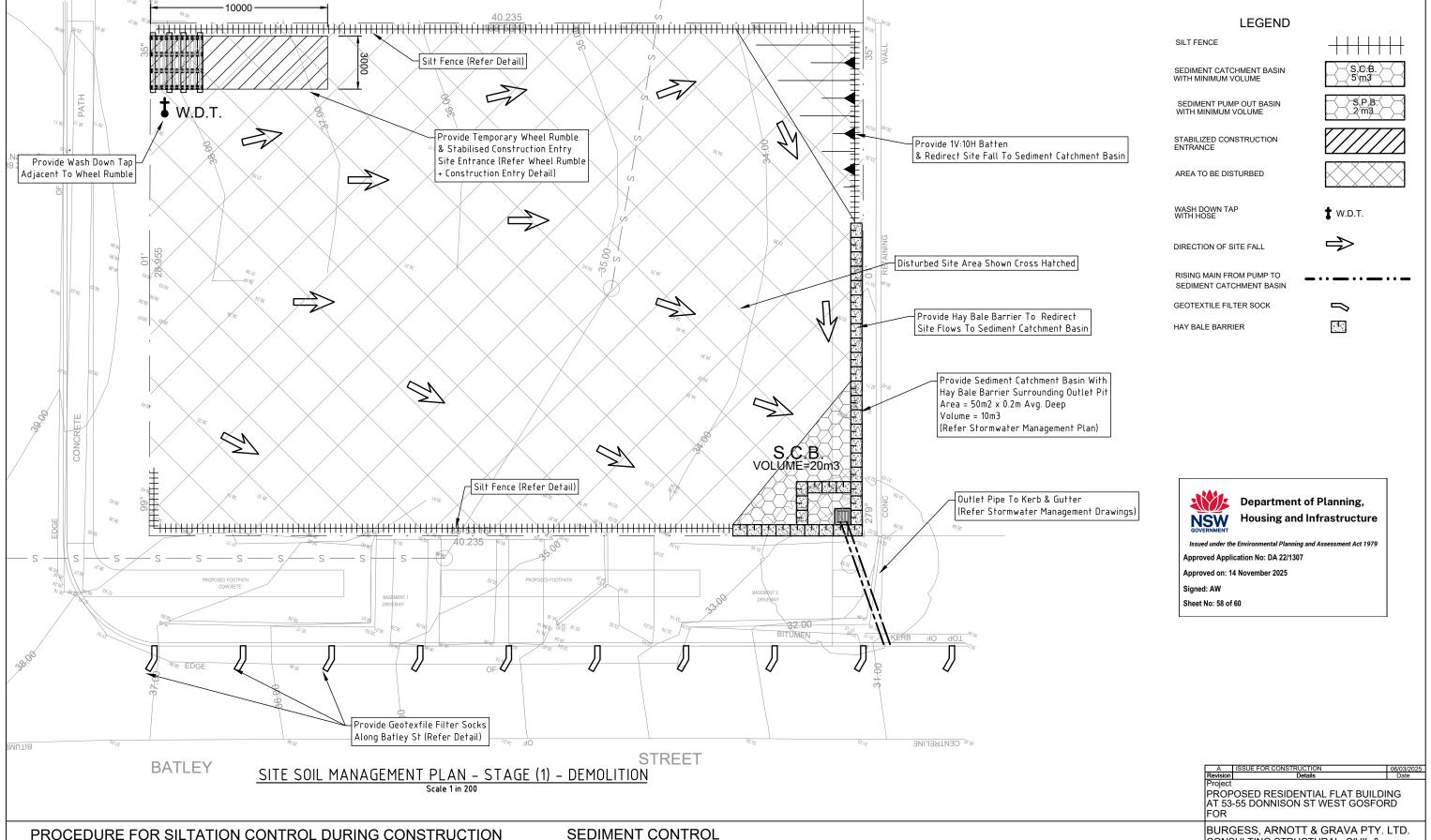
STORMWATER DRAINAGE CONCEPT ROOF PLAN

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R. Grava	As shown	Oct. 2020	2020-000-H9	0
Approved by			Drawing 9 in set of 10	
Chartered Engineer			Drawing size A1	

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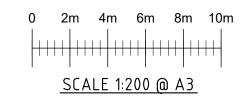
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- 1. Construct silt trap fence, stablized construction entrance,
- sediment catchment basin and wash down tap located near exit
- 2. Commence construction providing drainage from excavations to sediment catchment basin
- 3. Should sediment basin fill to within 30% of capacity remove silt from basin with pump out tanker and dispose of at an approved waste site
- 4. Provide site watering should wind erosion occur
- 5. Carry out daily site inspections of silt fences and hay bale barriers to ensure all are in working order 6. Reposition silt fences and hale bales where required to complete construction and ground works
- 7. Remove silt fences and hay bales only when construction and landscaping is 100% finished 8. The contractor shall be responsible for conforming to all existing legislation under the
- ENVIRONMENTAL OFFENSES & PENALTIES ACT 1989 as amended and CLEAN WATERS ACT1995

All precautions shall be taken by the contractor to prevent the transportion of material from the site area by wind, stormwater runoff or artificial means. The site shall be watered in dry periods and should clear areas become barren, then these areas are to be turf and watered to promote grass cover. The sediment control fabric fences and hay bales indicated on the plan shall be taken sa a minimum protection measure only. Extra controls shall be establised to provide an effective protection where required. Support measures such as hay bales shall be used in areas of steep slops, stream flows and kerb gully inlet pits.

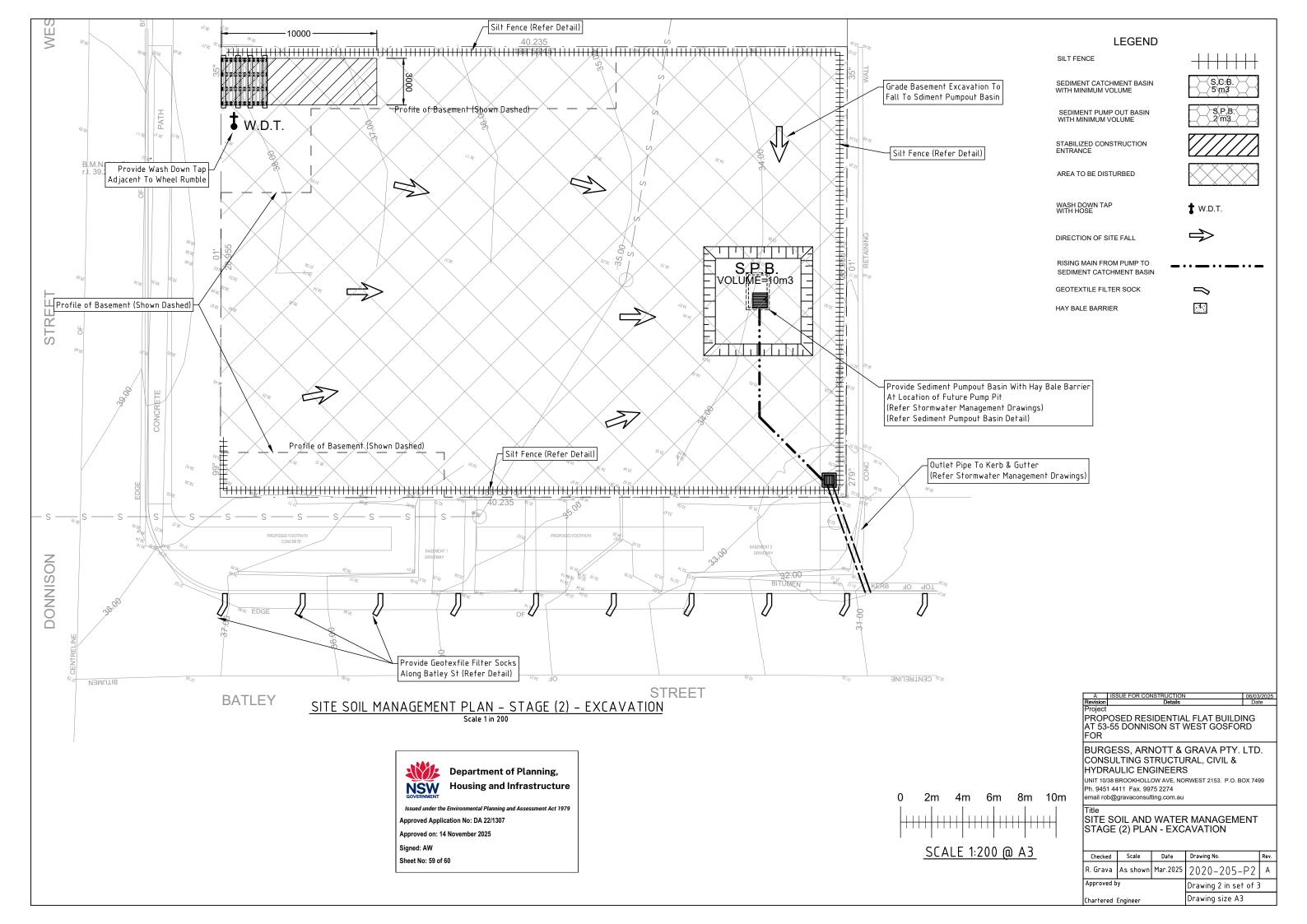


CONSULTING STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS

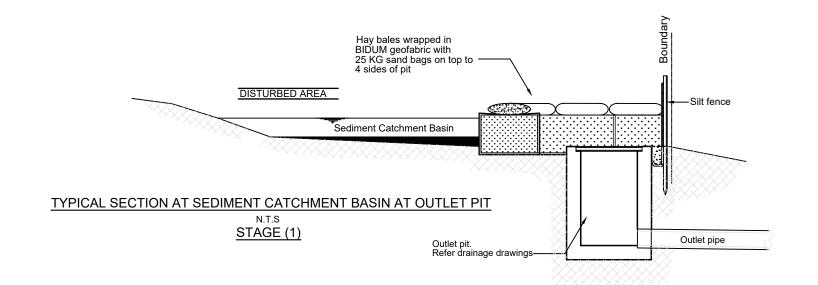
UNIT 10/38 BROOKHOLLOW AVE, NORWEST 2153. P.O. BOX 7499 Ph. 9451 4411 Fax. 9975 2274 email rob@gravaconsulting.com.au

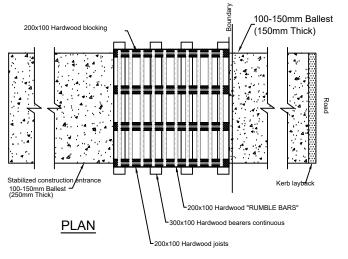
SITE SOIL AND WATER MANAGEMENT STAGE (1) PLAN - DEMOLITION

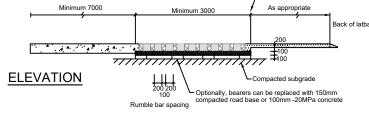
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R. Grava	As shown	Mar.2025	2020-205-P1	Α
Approved b	у		Drawing 1 in set of 3	
Chartered	Engineer		Drawing size A3	





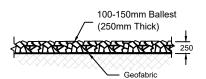




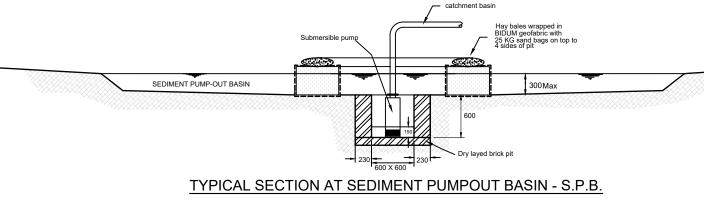


WHEEL RUMBLE DETAIL **CONSTRUCTION ENTRY / EXIT** STAGE (1 & 2)

0 / 100 Aggregate

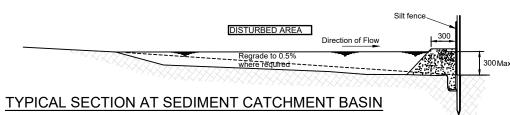


TYPICAL SECTION OF STABILIZED CONSTRUCTION ENTRANCE N.T.S STAGE (1 & 2)

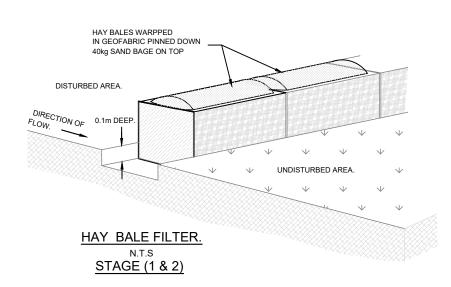


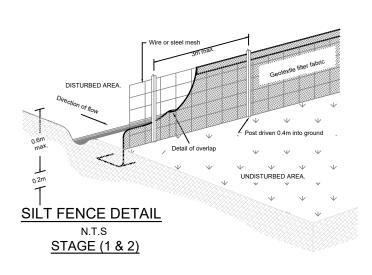
Treated water to sediment

N.T.S STAGE (2)



N.T.S STAGE (1)





Road paveme

TYPICAL SECTION OF FILTER SOCK

N.T.S.

STAGE (1 & 2)

PROPOSED RESIDENTIAL FLAT BUILDING AT 53-55 DONNISON ST WEST GOSFORD BURGESS, ARNOTT & GRAVA PTY. LTD. CONSULTING STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS

UNIT 10/38 BROOKHOLLOW AVE, NORWEST 2153. P.O. BOX 7499 Ph. 9451 4411 Fax. 9975 2274 email rob@gravaconsulting.com.au

SITE SOIL AND WATER MANAGEMENT DETAILS SHEET

Checked	Scale	Date	Drawing No.	Rev.
R. Grava	As shown	Mar.2025	2020-205-P3	А
Approved b	у		Drawing 3 in set of 3	
Chartered Engineer			Drawing size A3	